



TOWN OF LASALLE

DEPARTMENT OF DEVELOPMENT
AND
STRATEGIC INITIATIVES

BUILDING DIVISION



GUIDE TO ACCESSORY STRUCTURES AND DECKS FOR BUILDING PERMITS

www.lasalle.ca

January 8th, 2018

Accessory Structures

1. Requirements for structures without a Permit.

- Structure is no greater than 107 square feet
- Maximum building height is 10'-0" (3.0 m) to the mid span of roof
- Minimum set back of 24" is required from any property line
- Minimum of 6'-8" to any other structures
- Refer to attached sketches

Construction Requirements:

- Not regulated by the Ontario Building Code
- Must comply with all municipal by-laws

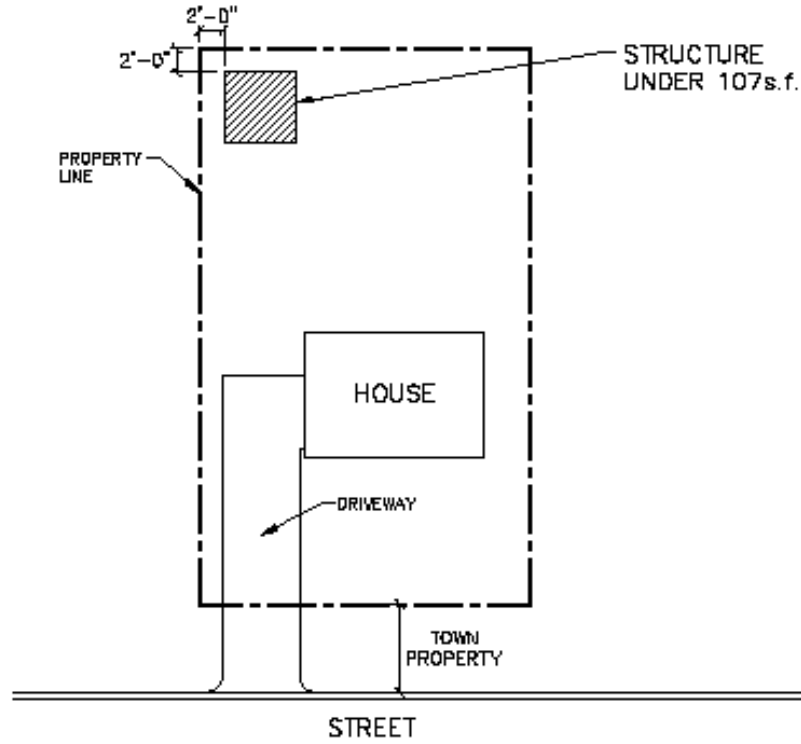
2. Requirements for structures that require a Permit

- Structure is greater than 107 square feet
- Contains any type of plumbing fixture
- Maximum building height is 14'-9" (4.5 m) to the mid span of roof
- Minimum set back of 48" is required from any property line
- Minimum of 6'-8" to any other structures
- Max. of 10% lot area coverage or 100 sq m (1076 sf) for R-1 Zones
- Max. of 10% lot area coverage of 200 sq m (2153 sf) for all other Zones
- Refer to attached sketches

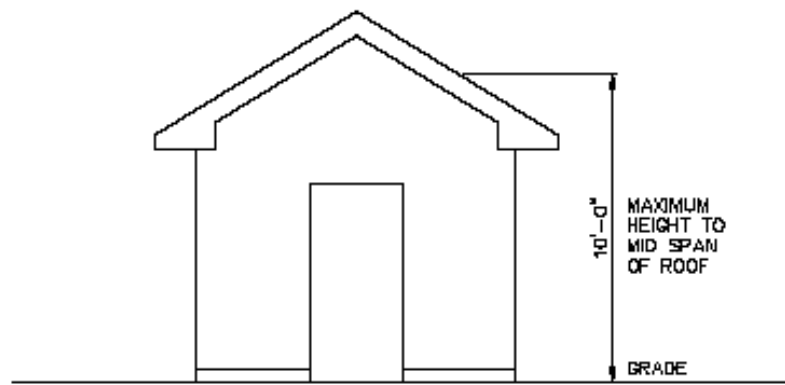
Construction Requirements:

- A ratwall type foundation may be used for this type of structure. Structure cannot be larger than 592 square feet and it cannot support any type of masonry.
- Full foundation depth must be used if supporting masonry,
- Refer to attached sketches from foundation types

STRUCTURES THAT DO NOT REQUIRE A PERMIT



SITE PLAN



ELEVATION

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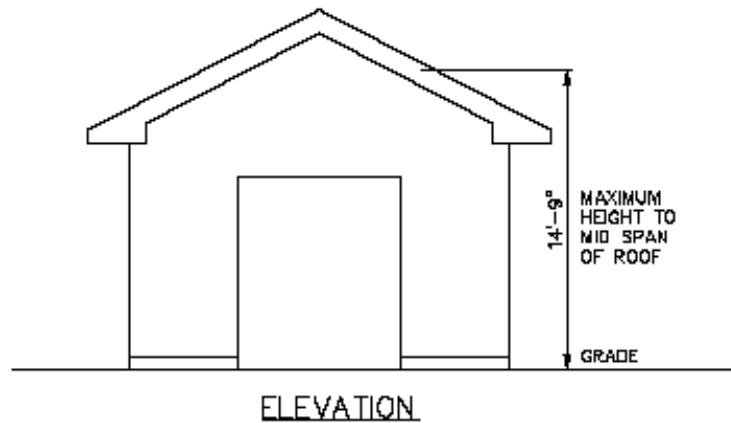
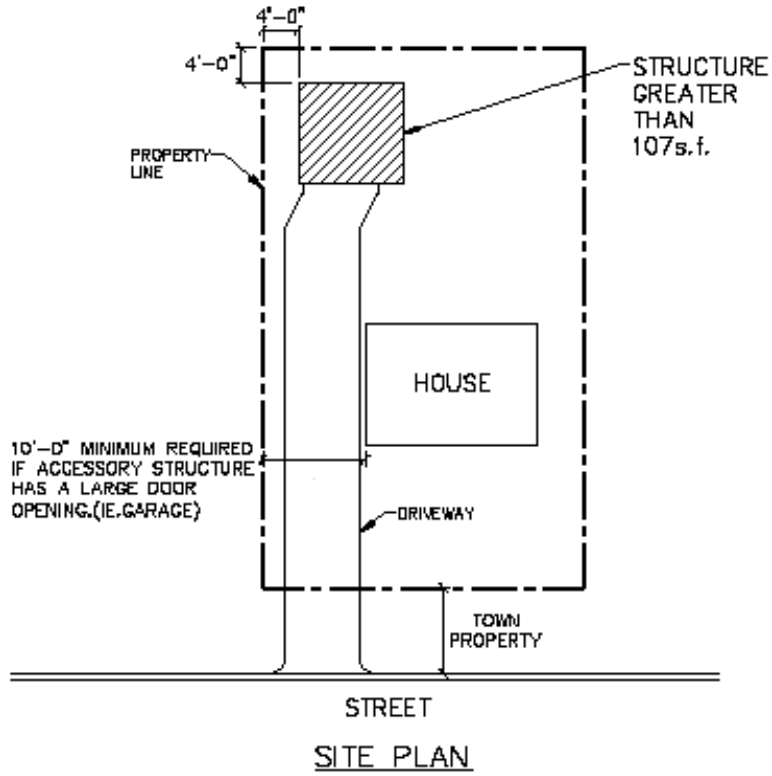


Revised 09/04/13
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Scale N.T.S.

STRUCTURES THAT DO NOT REQUIRE A PERMIT

STRUCTURES THAT REQUIRE A PERMIT



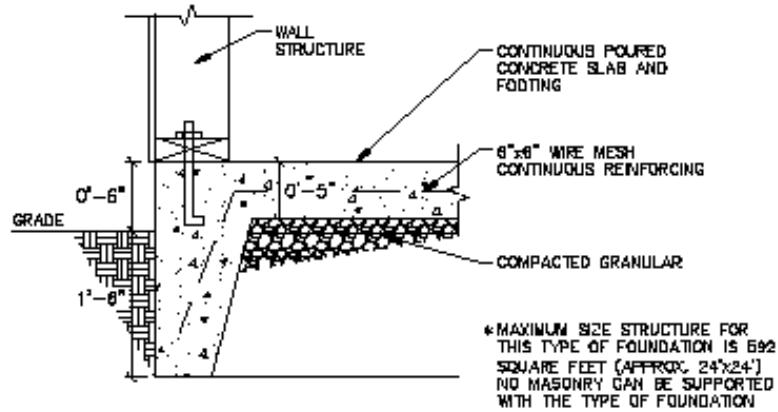
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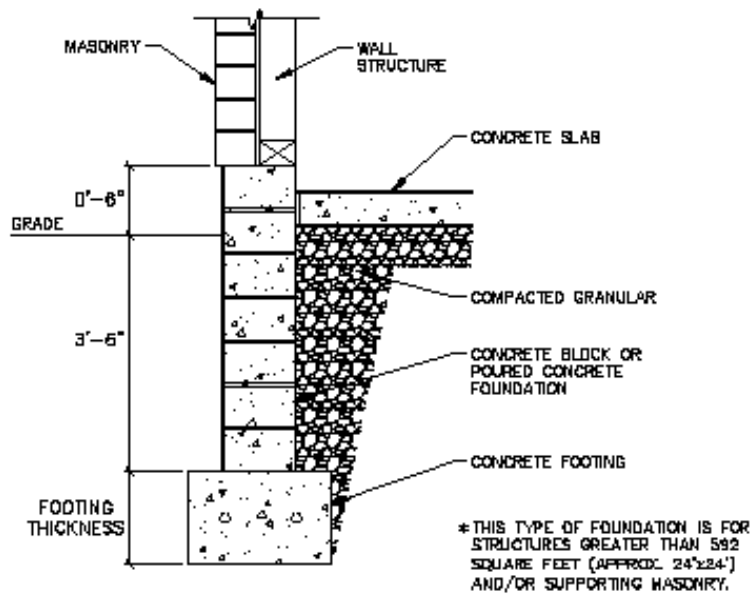
Revised	09/04/13	Scale
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STRUCTURES THAT REQUIRE A PERMIT

TYPE OF FOUNDATIONS



RATWALL FOUNDATION



FULL FOUNDATION

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TYPES OF FOUNDATIONS

Decks and Fences

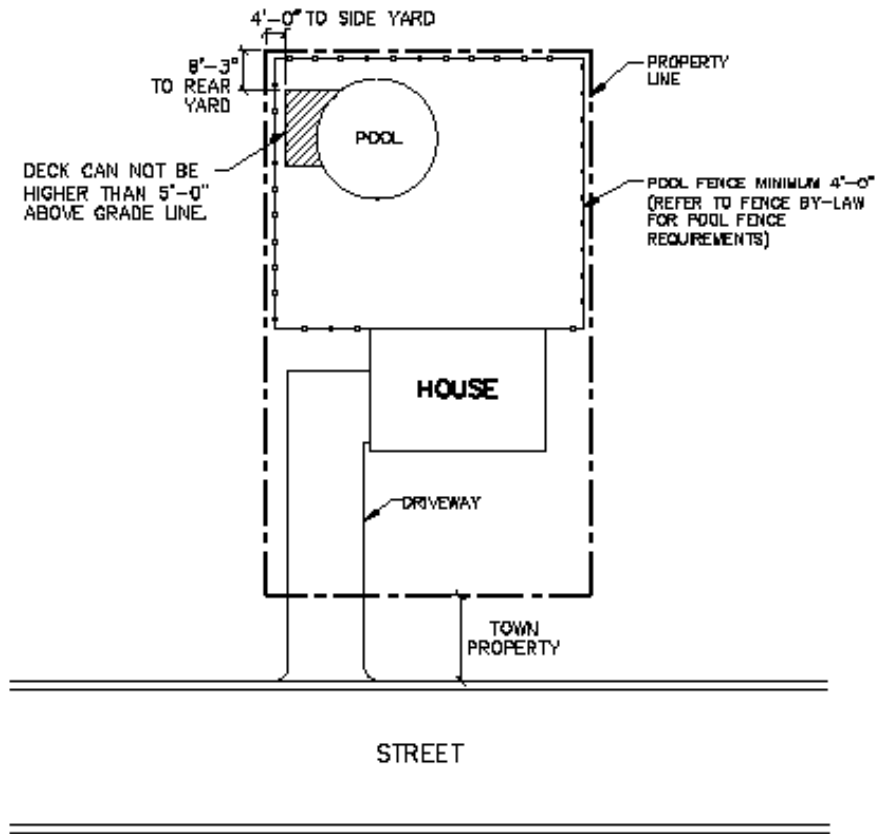
Deck Requirements:

- Maximum 10% lot coverage
- Maximum 5'-0" above finish grade around a swimming pool
- Decks can be no greater than the first floor level elevation
- No building permit is required however must comply with municipal by-laws and the Ontario Building Code
- Permits are required if a roof structure is constructed as part of the deck

Fence Requirements:

- No permits required however must comply with municipal by-laws
- Minimum height for swimming pool fences is 4'-0"
- No greater than 6'-0" high including all lattice work
- Must be on your property
- Fences in front yard must be maximum height of 4'-0" and must be of open type construction (i.e. Chain link, wrought iron etc.) Fence cannot go beyond front yard property line
- Town will not be involved in any civil disputes

DECK DIAGRAM



SITE PLAN

Apr 10, 2014 - 2:34pm I:\GIS\Town Standard\Design\Development\Barrabooking

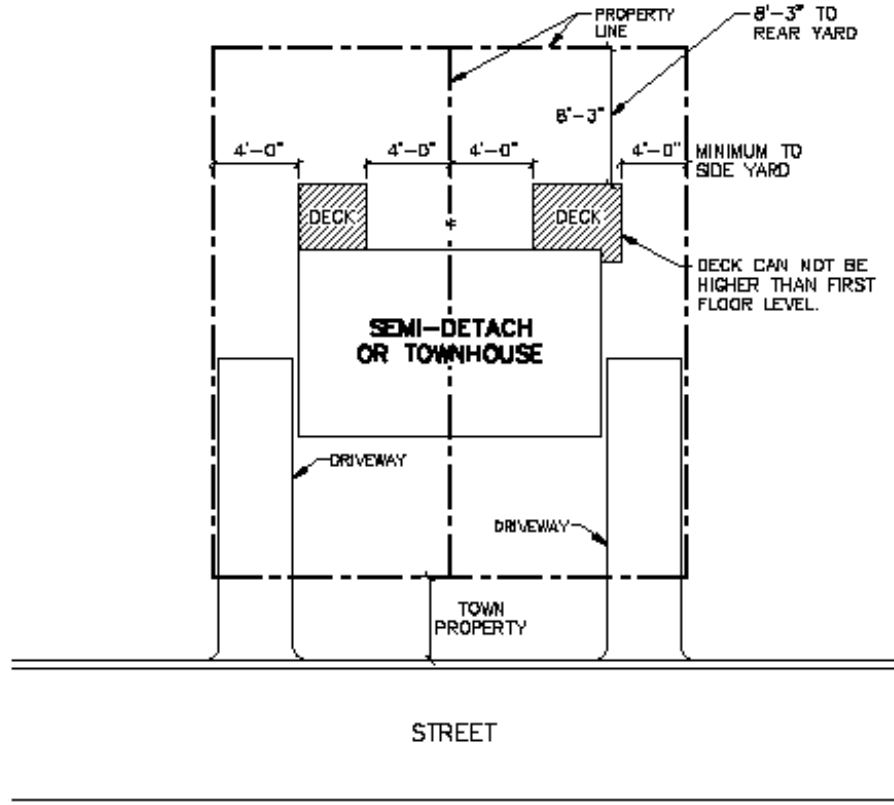


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Scale
 N.T.S.

DECK DIAGRAM

DECK DIAGRAM SEMI DETACH OR TOWNHOUSE



SITE PLAN

* DECKS ARE PERMITTED TO BE
ALONG CENTRE PROPERTY LINE
IF NON-COMBUSTIBLE WALL IS
CONSTRUCTED

Apr 10, 2014 - 2:55pm E:\GIS\Town Standard Draw\Development Standards.dwg

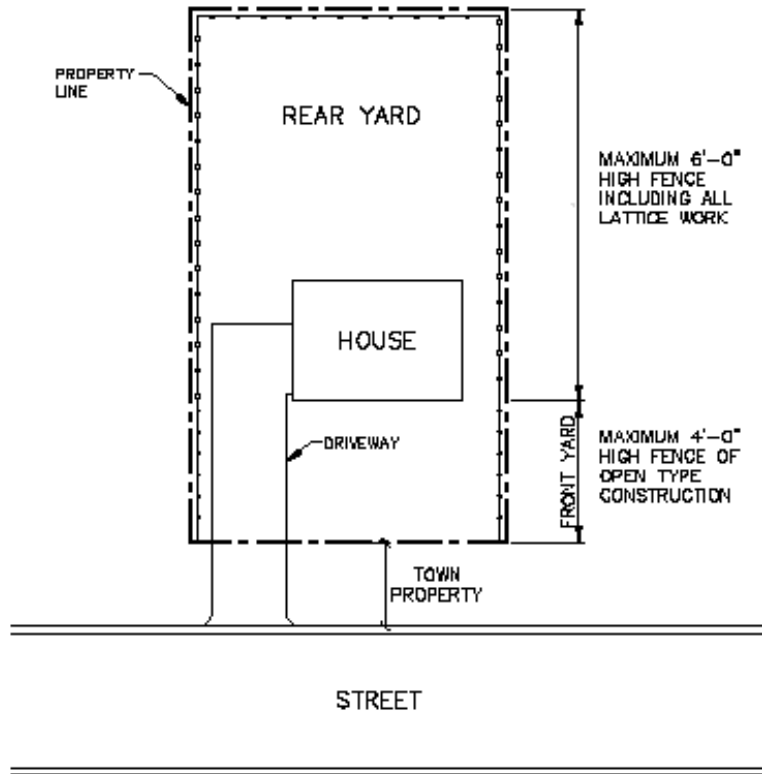


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**DECK DIAGRAM
SEMI DETACH OR TOWNHOUSE**

FENCE DIAGRAM



SITE PLAN

Apr 10, 2014 - 9:58am I:\GIS\Town Standard Maps\Development\Barraboulog



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09/04/13
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FENCE DIAGRAM

What drawings will I need to submit for a Building Permit?

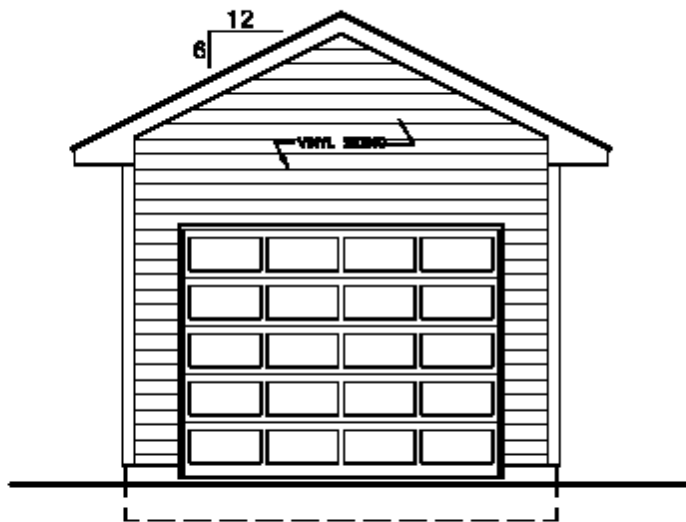
Along with your completed application form you will be required to submit two full sets of construction drawings completed by a certified designer. All drawings shall be a minimum scale as indicated. The following drawings are required.

- Site plan (1/16" = 1'-0")
- Foundation plan (1/4" = 1'-0")
- Floor plans (1/4" = 1'-0")
- Elevations (1/4" = 1'-0")
- Sections and details (1/2" = 1'-0")

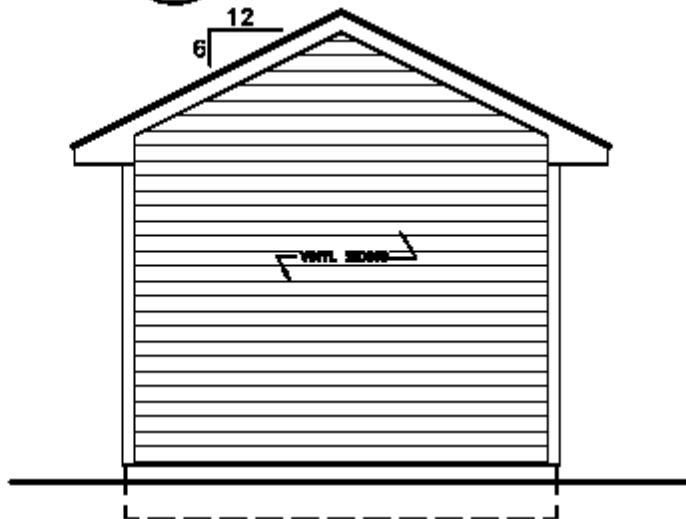
Along with the drawings listed above, other approvals may be required for your particular project. The following are some approvals that may be required upon submitting your application prior to issuance of a building permit.

- ERCA
- Septic Sewage System Approval
- Ministry of Transportation
- Committee of Adjustment
- Minor Variance
- Site plan agreement
- County road approval
- County road construction / Entrance permit

Refer to sample drawings within this package.



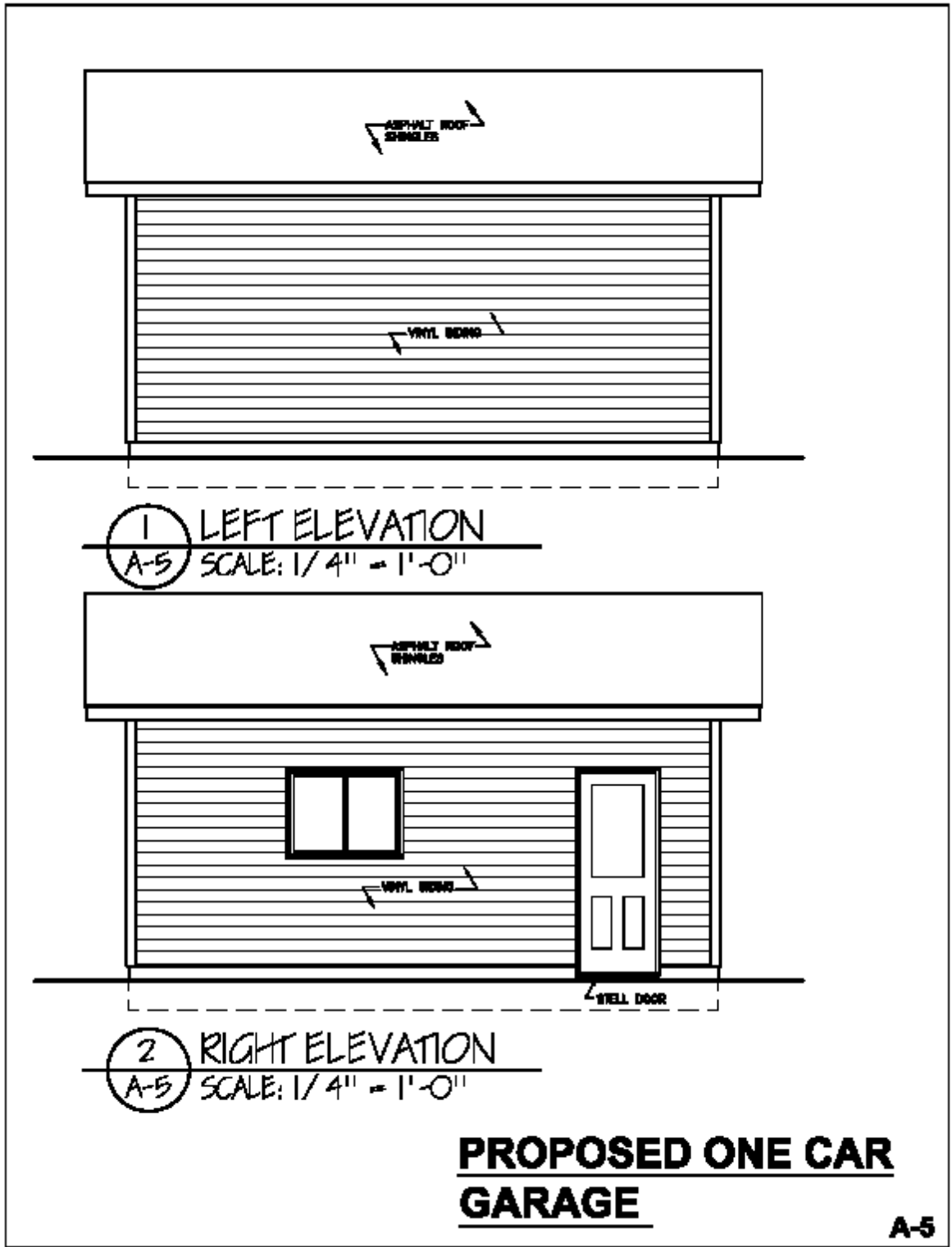
1 FRONT ELEVATION
A-4 SCALE: 1/4" = 1'-0"



2 REAR ELEVATION
A-4 SCALE: 1/4" = 1'-0"

PROPOSED ONE CAR GARAGE

A-4



How long does it take to get my permit and when can I start?

Building permits are usually issued within 10 business day of a complete application being submitted. Applications that are incomplete because of missing or incorrect information will be delayed. **No work can commence** until the permit has been issued and all fees have been paid.

What inspections are required and how are they scheduled?

Requesting inspections is the responsibility of the homeowner or the contractor of the project. Inspections must be booked at least 24 hours in advance.

Each major phase of construction must be inspected to make certain the work conforms to the Ontario Building Code. Listed below are the mandatory inspections that are required.

INSPECTION SCHEDULE

The following schedule outlines the required inspections for building projects.

It is the builder's responsibility to request inspections and confirm that all work has been approved. Permit drawings must be on site at time of inspection.

Any work covered before inspections are made, must be uncovered by the applicant for proper inspection.

Inspections will be available between the hours of 10:00 am to 12:00 pm and 1:00 pm to 4:00 pm.

Inspection request must be made 24 hours in advance at 969-7770 extension 1245.

1. **Footing** inspection (before concrete is poured).
2. **Underground plumbing** inspection (water test or air test)
3. **In-floor heating** inspection
4. **Rough plumbing** inspection (water test or air test)
5. **Water Line inspection** (air test required)
6. **Rough framing** inspection (Provide roof truss drawings and engineered floor truss drawing layouts)
7. **Insulation & air/vapour barrier** inspection.
8. **Final building, plumbing & heating / Occupancy Permits** (prior to occupancy)



INSPECTION GUIDELINES

All construction sites must be clearly identified with municipal address. Approved permit drawings must be available on site for review.

Contractor must ensure proper and safe access onto the job site as per Ministry of Labour guidelines. Inspection may be denied if proper access is not provided.

Contractor / Applicant must ensure that all work is complete and ready for inspection. If any booked inspections are not ready they must be cancelled prior to the inspection otherwise it may be subject to a fee.

Contractor / Applicant must ensure that deficiencies are complete and re-inspected.

Footing

- All form work placed and secured
- Soil must be undisturbed with no loose or organic material
- A soils report may be required if soil condition are questionable

Framing

- Ensure that all framing is complete including installation of windows and doors
- Approved drawings must be available on site which include approved pre-engineered roof trusses, floor joist layout and beam drawings
- All steel beams and columns must be bolted or secured
- Exterior columns must be anchored at top and bottom
- All truss bracing must be complete for inspection

Plumbing

- All plumbing must be tested by either water or air and exposed for inspection
- Rough plumbing to have water test or air test of 5 psi
- Water line inspections are required to have a 100 psi air test
- Provide smash plates on all drain lines and waterline where required

Insulation

- Building must be weather protected to prevent rain ingress

Final Inspection

- A final inspection must be performed before occupancy of all buildings.
- All exterior finishes to be completed
- All plumbing and heating to be complete and operational
- Grading must be completed as per grading design
- All cleanout exposed complete with screw on caps

- A final list of outstanding deficiencies will not be given on site at time of inspection. The deficiencies will be sent out in letter form. A final inspection is required prior to occupancy
- A work order will be issued for permits that remain outstanding

Record of Requested Building Inspections

<u>Type of Inspection</u>	<u>Date Requested</u>	<u>Date Approved</u>
Footings		
Framing		
Underground Plumbing		
Rough Plumbing		
Waterlines		
Main Floor Insulation		
Final Building, Plumbing and Heating		



GENERAL BY-LAW INFORMATION

The following general by-law requirements should be followed:

It is the applicant's responsibility to verify all property lines, setbacks, roadways and easements.

Setback requirements:

<u>Pool</u>	Minimum side and rear yard	1.2m (4 feet)
	Minimum exterior side yard	1.2m (4 feet)

Pump, Filter and Heater

Minimum from side and rear lot lines	0.6m (2 feet)
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<u>Fences</u>	The minimum height for pool fences	1.2m (4 feet)
	The maximum height for all fencing	1.8m (6 feet)
	Fences must be constructed within property lines and are not permitted on easements and alleys	

<u>Decks</u>	Minimum side yard	1.2m (4'-0")
	Minimum rear yard	2.5m (8'-3")
	Minimum exterior side yard (corner lot)	1.2m (4'-0")
	Maximum height	1.5m (5 feet)

Sheds (Accessory structures)

Structures over 10m² (107s.f.) – **building permit is required**

Proper building drawings and a site plan are required.

- Minimum side and rear yard 1.2m (4'-0")
- Minimum distance from house 2.0m (6'-8")
- Maximum building height (to mid-height of roof) 3.0m (14'-9")

Structures under 10m² (107s.f.) – **building permit not required**

- Minimum side and rear yard 0.6m (2 feet)
- Minimum distance from house 2.0m (6'-8")
- Maximum building height (to mid-height of roof) 3.0m (10'-0")

Air Conditioners

Air conditioner units must be a minimum of 24" from any property line.

Frequently Used Phone Numbers

1. Department of Development and Strategic Initiatives	519-969-7772
2. Public Works	519-969-4143
3. Water Department.....	519-969-4143
4. Essex Power	519-737-6640
5. Union Gas.....	1-888-774-3111
6. Ontario One Call (Call before your dig).....	1-800-400-2255
7. Electrical Safety Authority.....	1-877-372-7233
8. Clerks Department.....	519-969-7770 ext. 1221
9. Committee of Adjustments.....	519-969-7770 ext. 1252
10. Essex Region Conservation Authority (ERCA).....	519-776-5209
11. Windsor Essex County Health Unit.....	519-258-2146
12. Ministry of Transportation.....	519-354-1400
13. Ministry of Environment.....	519-254-2546
14. Ministry of Natural Resources.....	519-354-7340
15. Ministry of Municipal Affairs	416-265-4736
16. Ontario New Home Warranty (Tarion).....	1-800-250-3589
17. Welcome Wagon.....	519-734-1924
18. Town of LaSalle Police Service.....	519-969-5210
19. Town of LaSalle Fire Service.....	519-966-0744