



DILLON
CONSULTING

TOWN OF LASALLE

Bouffard Howard Planning Districts

Class Environmental Assessment Addendum
Final Report

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1.0 Background

The Town of LaSalle (Town) has been working for some time to create the environment to allow for the orderly development of the Bouffard and Howard Planning Districts within the Town's urban boundary (refer to *Figure 1.0 – Study Area*). These lands have been designated for a range of land uses and are earmarked as the Town's growth area for the next 20 years. To facilitate the orderly development of these lands, the municipality commissioned two (2) foundation studies, they are:

- Bouffard and Howard Planning Districts Master Servicing Study (2002); and
- Bouffard and Howard Planning Districts Functional Design Study (2005);

The works outlined in both studies were considered to be Schedule "B" undertakings. The Town envisioned that the works outlined in both studies provided the framework for development to occur and anticipated that landowners would proceed to obtain development approvals for their lands and the Town would see a return on their initial investment.

Both studies were completed in accordance with the Municipal Class Environmental Assessment (Class EA) process and confirmed land use, how servicing of the lands will occur including changes to:

- arterial and collector roadways;
- trunk sanitary and storm sewers;
- potable water supply;
- drainage areas; and
- regional stormwater management ponds.

The purposes of this Addendum report are to determine customizable solutions to the implementation and construction of the trunk storm, sanitary, water and roadway infrastructure. For the purpose of this report, the above noted items will be referred to as "future infrastructure" and identified in the Preferred Solutions.

A third study was commissioned by the Town related to stormwater management, entitled:

- Bouffard Howard Planning Districts Phase 1 – Review of Storm Water Management Servicing Strategy (July 2015).

The information contained in these studies provided the framework for the Addendum.

The amendment to the existing Class EA document(s) is integrated with the Planning Act in accordance with S. A (2.9) of the Class EA process. It is anticipated that land owners will proceed to Phase 2 – Development Approvals at the conclusion of the amendment process.

For a variety of reasons including: scale of the required works, fragmented ownership, regulatory approvals, lack of consolidation in key properties and timing in the market cycle, development did not proceed at the pace previous anticipated.

In early 2016 following discussions with administration, Dillon Consulting Limited (Dillon) was retained by a number of the larger landowners in the Bouffard and Howard Planning Districts to complete an Addendum to the previous reports under the Class EA to review a number of alternative solutions for dealing with arterial and collector roadways, trunk sanitary and storm sewers, potable water supply and regional stormwater management ponds and to confirm the most appropriate long-term strategy.

The following Problem/Opportunity Statement was developed for the study:

The existing Bouffard and Howard Planning Districts are not developing as anticipated. While the Town has installed trunk infrastructure in some parts of the Bouffard and Howard Planning Districts, additional private investment is required to see the entire area develop in a logical and orderly manner. Phase 1 of the study will consider and review alternative options to address the current and future needs of the Town of LaSalle. The study will create the opportunity and potential for major landowners to develop their land by providing a range of solutions to address the required servicing in the area. Phase 2 of the project will be the integration with the Planning Act and provide the opportunity for land owners to submit for various Planning Act approvals.

A review of the Bouffard and Howard Planning Districts Functional Design Study (2005) concluded that the majority of the work completed remains valid and only minor changes to the Preferred Solution (2005) are required.

To address the problem/opportunity Statement, a range of alternatives were considered and presented to the public and affected agencies including: Do Nothing, and Minor Changes to the Future Infrastructure. Under all scenarios the original design criteria established in 2005 were maintained. The Minor Changes to the 2005 Preferred Solutions resulted in the physical relocation of infrastructure, for example: Stormwater Management Ponds, Collector Roadways and Pump Stations.

The Class EA study, including the decision-making process leading to the selection of the preferred solution, is outlined in the:

- Bouffard and Howard Planning Districts Master Servicing Study (2002); and
- Bouffard and Howard Planning Districts Functional Design Study (2005)

Both reports were available for the required public review periods. The Ministry of the Environment and Climate Change (MOECC) EA Approvals Branch confirmed that no Part II Order Requests were received from members of the public or agencies during the review period (refer to *Figure 2.0 – Municipal Class EA – Planning and Design Process*).

2.0 Addendum Process

As previously outlined, the 2002 and 2005 reports were completed following the requirements of the Municipal Engineers Association Municipal Class EA (2000, as amended) process. This addendum will also meet the requirements of the Class EA.

The Class EA document includes provisions to revise a Class EA study recommendation if significant modifications to the project arise after the public review period.

An addendum report is required, describing:

- Circumstances necessitating the change;
- Environmental implications of the change; and
- What, if anything, can and will be done to mitigate any negative environmental impacts.

An addendum report is required to document the change(s) and is issued through a Notice of Filing of Addendum. As outlined in the Class EA document, "only the items in the addendum, (i.e., the changes) are open to review. (Class EA, page A-81).

This Addendum Report will be available for the required 30-day review period. If no Part II Order Request(s) are received related to the Addendum, the works identified may proceed to implementation.

3.0 Addendum Need

This addendum refines the preferred strategy outlined in previous two reports. The amended strategy is to:

- Revise the collector roadway network to reflect updated municipal needs and modifications based on proposed development patterns;
- Confirm the potential location of storm sewer inlets to the amended Stormwater Management ponds based on proposed development patterns;
- Confirm the service areas for trunk sanitary sewers;
- Confirm the potable water supply (no changes anticipated);
- Refine the storm drainage areas to reflect property ownership; and
- Create implementable regional stormwater management ponds.

Details related to the final location of the infrastructure will be confirmed in Phase 2 of the Study as development proposals move forward through individual Draft Plan of Subdivision applications to be prepared and submitted by landowners, in accordance with the Planning Act process, beginning in the Spring of 2017.

4.0 Existing Conditions

In the time since the reports were completed (2002 and August 2005), there have been several changes to the existing conditions within the Study Area.

The zoning and land use designations have remained largely unchanged, with the majority of the lands continuing to be farmed.

What has changed is the construction of Laurier Parkway, one of the required east-west arterial roadways, the construction of the Laurier Parkway Trunk Sanitary Sewer, the development of the Vollmer Centre and related stormwater management pond, as well as the construction of some residential developments.

It should be noted that since 2005, several regulations have been enacted at the Provincial level related to the Endangered Species Act (ESA) (2008) and regulations related to Species at Risk (SAR) and habitat for SAR.

Through the public consultation component of the study and advice from the Ministry of Natural Resources and Forestry (MNRF), it was determined that review, comment and application of the regulations are best completed at time of individual Draft Plan of Subdivision Planning Act approvals. Through discussions with the affected parties, it has become evident that development of certain lands may take place over a long period of time. Therefore, it is appropriate that landowners consult the various approval agencies at the time of development, to confirm and ensure that the applicable regulations are met. This is a standard and normal part of the development process across Essex County and the Province of Ontario. Confirmation of adherence to provincial policy, provincial regulations and guidelines (i.e., climate change, archeological and culture resources), county and municipal policies and regulations will be required.

Proposed infrastructure has been located (in most cases) to avoid potential impact to areas identified as “Natural Environment” in the County of Essex Official Plan.

The Preferred Solution(s) presented in this report anticipates that the location, size and impact of the proposed infrastructure will be refined as part of the future Draft Plan of Subdivision applications.

5.0

Updated Impact Assessment and Evaluation of Alternatives

Most of the impacts associated with the changes proposed in this addendum are similar to those outlined in the 2005 Report.

As discussed in the previous section, our suggested alternative to the preferred solution can be found on the aforementioned figures.

Additional technical memorandums can be found in the following Appendices:

- Appendix A – Stormwater Management Servicing Strategy;
- Appendix B – Sanitary Servicing Strategy

6.0 Updated Preferred Solution

The Preferred Solutions as presented in this Addendum Report are intended to be general and open to interpretation and refinement as development of the future infrastructure moves forward. Additional approvals for all infrastructures will be required to ensure that the works conform to the applicable regulations of the day. This Addendum is only one part of the process to implementation of the necessary infrastructure to allow the Bouffard and Howard Planning Districts to develop to meet the needs of the Town and County.

The following outlines the work completed to review and update the preferred solution(s), they are:

6.1 Arterial and Collector Roadways

The majority of the approved arterial and collector roads remain in the preferred location. Minor changes have been made in consideration of expected development patterns and avoidance of areas designated as "Natural Environment" in the County of Essex Official Plan. The hierarchy of the road network remains the same including the creation of:

- Major Collector Roads;
- Major Collector (Enhanced) Roads;
- Minor Collector Roads; and
- Opportunities for roundabouts in key locations.

The location of the preferred road network solution can be found on Figure 3.0 – Preferred Solution - Roadways. The preferred hierarchy of roads will allow for the development of the area in an orderly fashion. New traffic in the form of cars, trucks, transit and bicycles will be directed to new roadways establishing connectivity between new neighbourhood areas and avoiding placing undue pressure on the existing road network. Consideration will be given to connectivity existing multi-modal opportunities (bike lanes, multi-use trails and transit).

6.2 Trunk Sanitary Sewers

The trunk sanitary sewer network has remained largely intact with several small modifications to the anticipated routing and some revisions to the drainage boundaries. Where possible, the proposed trunk sanitary infrastructure will follow the proposed road network. This strategy has been proven to work and has been utilized by the Town with the installation of the Laurier Trunk Sanitary Sewer.

The following revisions to the trunk sanitary sewers and drainage boundaries are recommended:

- The elimination of two (2) sanitary pump stations in the Laurier Sanitary Service Area;

PREFERRED SOLUTIONS

Figure 3.0 – Preferred Solution: Roadways	Bouffard and Howard District Functional Design Study (2005)	2017 Addendum
<ul style="list-style-type: none"> Major Collector Road 	<ul style="list-style-type: none"> Defined based on neighbourhood plan 	<ul style="list-style-type: none"> Modification required to the southerly extension of D'Amore Drive. Additional approvals (MNRF) will be required to the extension of Diotte Street northerly to connect to Reaume Road/Sandwich West Parkway. It is not possible - provisions have been made to connect Diotte Road south of existing woodlot to Malden Road.
<ul style="list-style-type: none"> Major Collector (Enhanced) 	<ul style="list-style-type: none"> Defined based on neighbourhood plan 	<ul style="list-style-type: none"> Modifications required to include the extension of the LaSalle Wood Blvd. southerly. Creation of LaSalle Woods Blvd eliminates the need for the previously proposed roadway to the west through an area of natural environment.
<ul style="list-style-type: none"> Minor Collector Roundabout 	<ul style="list-style-type: none"> Defined based on neighbourhood plan None shown 	<ul style="list-style-type: none"> Two additional minor collector roads planned for south of Laurier Parkway. Opportunities for inclusion at various intersections in the Study Area are part of future planning approvals.
Figure 4.0 – Preferred Solution - Sanitary		
<ul style="list-style-type: none"> Sanitary Drainage Boundaries 	<ul style="list-style-type: none"> Confirmation of service areas 	<ul style="list-style-type: none"> Minor change to Reaume Sanitary Service Area removing lands north of the LePain Drain into the Normandy Sanitary Service Area.
<ul style="list-style-type: none"> Sanitary Pump Station 	<ul style="list-style-type: none"> 7 sanitary pump stations required 	<ul style="list-style-type: none"> 2 sanitary pump stations constructed 2 sanitary pump stations eliminated in the Laurier Sanitary Service Area 1 sanitary pump station relocated from the Reaume Sanitary Service Area to the Normandy Sanitary Service Area
<ul style="list-style-type: none"> Timing of Development 	<ul style="list-style-type: none"> Requires property consolidation 	<ul style="list-style-type: none"> Allows for orderly development of consolidated lands.
<ul style="list-style-type: none"> Capital Costs 	<ul style="list-style-type: none"> Some oversizing required 	<ul style="list-style-type: none"> Some oversizing required.
Figure 5.0 – Preferred Solution – Drainage Areas		
<ul style="list-style-type: none"> Drainage Areas 	<ul style="list-style-type: none"> Defined based on best available information 	<ul style="list-style-type: none"> Minor changes based on property consolidation
Figure 6.0 – Preferred Solution – Stormwater Management		
<ul style="list-style-type: none"> Stormwater Management Facilities 	<ul style="list-style-type: none"> 8 ponds and 8 pump stations 	<ul style="list-style-type: none"> 16 ponds and 8 pump stations to reflect ownership patterns and development potential
<ul style="list-style-type: none"> Natural Environment / Species at Risk 	<p><u>Medium Risk</u></p> <ul style="list-style-type: none"> Proximity to drains 	<p><u>Low Risk</u></p> <ul style="list-style-type: none"> All ponds located on agricultural fields Avoidance of areas considered habitat for Species at Risk
<ul style="list-style-type: none"> Timing of Development 	<ul style="list-style-type: none"> Requires property consolidation 	<ul style="list-style-type: none"> Allows for orderly development of consolidated lands
<ul style="list-style-type: none"> Capital Costs 	<ul style="list-style-type: none"> Some oversizing of facilities required 	<ul style="list-style-type: none"> Some oversizing of facilities required
<ul style="list-style-type: none"> Drain Relocations / Enclosures 	<ul style="list-style-type: none"> Several improvements identified 	<ul style="list-style-type: none"> Several improvements identified

- The relocation of one (1) sanitary pump station from the Reaume Sanitary Service Area to the Normandy Sanitary Service Area; and,
- The reallocation of the lands north of the Lepain Drain from the Reaume Sanitary Service Area to the Normandy Sanitary Service Area.

The location of the preferred sanitary sewer solution can be found on Figure 4.0 – Preferred Solution – Sanitary.

The Forest Trails Subdivision was removed from the Reaume Sanitary Service Area to the Normandy Sanitary Service Area through a previously approved Class EA Addendum. This work was completed by the developer.

6.3 Potable Water Supply

There are no anticipated changes to the potable water supply for the Bouffard and Howard Planning Districts. All trunk water infrastructures will be installed as development proceeds within the newly created right-of-ways.

6.4 Storm Drainage Areas

The Study Area is represented by three greater watershed areas, they are:

- Cahill West Drainage Area;
- Lepain/Cahill East Drainage Area; and
- Sixth Concession Drainage Area.

While the total drainage area remains the same, there has been refinement in the drainage boundaries within the existing three greater watershed areas to reflect where the stormwater runoff is actually now traveling and how to best deal with stormwater drainage as development in the area moves forward.

Hydrologic modeling of the planning area has been completed to assist in the sizing of stormwater ponds to account for the alterations of sub-drainage area boundaries and outlet locations. It is anticipated Drainage Act approvals will be required which will include relocation and/or enclosure of several drains in the area.

The preferred stormwater drainage areas can be found on Figure 5.0 – Preferred Solution – Drainage Area.

The Essex Region Conservation Authority (ERCA) has reconfirmed the need for an Outlet Capacity Analysis Study to be completed prior to development occurring in the Study Area. These works require analysis of the various drains in the study area and confirmation of the ability of these drains to convey

Stormwater from the development area. While this work is usually required at the time of detailed design of the stormwater management facilities, there is benefit to reviewing the capacity of the drains in one study.

6.5 Regional Stormwater Management Ponds

A critical part of the Addendum was the ability to create a solution that provides for reasonable and developable stormwater management ponds. A criticism of the previously approved plan was the ability for any one landowner to design and construct stormwater management ponds. It was perceived that doing so was challenging in terms of the land area required and overall construction costs for each pond and pump station. The approved stormwater management solution required extensive land and larger ponds to service large stormwater management drainage areas.

The addendum addresses the issue by creating a range of solutions including:

- Smaller stormwater management drainage areas and ponds;
- Refined and tailored stormwater management solutions based on land ownership;
- Linear stormwater management facilities to allow for the construction of the facilities as land is developed; and
- Smaller stormwater pump stations.

The ultimate configuration of the preferred stormwater management solution can be found on Figure 6.0 – Preferred Solution - Stormwater Management.

At the time of Draft Plan of Subdivision, additional consideration will be taken into account to connect required stormwater management facilities with the Town's natural areas, neighbourhood parks/parkettes, linear drainage and active transportation systems (trails and multi-use pathways).

7.0 Approvals and Schedule

Additional approvals are required prior to construction of the future infrastructure. Approvals required as part of Phase 2 and prior to implementation and/or construction is as follows:

- Various Planning Act approvals requiring agency input including but not limited to:
 - Draft Plan of Subdivision;
 - Official Plan Amendments;
 - Zoning Bylaw Amendments;
 - Consent to Sever, and
 - Site Plan Control Approval
- Environmental Compliance Approval (ECA) for sanitary and storm sewage works for the new infrastructure;
- Ministry of Natural Resources and Forestry (MNRF), Endangered Species Act and Species at Risk approvals;
- Essex Regional Conservation Authority approvals; and
- Drainage Act approvals.

Following the mandatory 30-day public and agency review period for this Addendum, a number of landowners will be moving to Phase 2 of the addendum, Draft Plan of Subdivision Planning Act approvals. Subject to receiving the necessary approvals, it is expected that construction of a portion of works will occur in 2017 and 2018. The full build out of the future infrastructure is expected over the next 20 years.

Consultation

Due to the scope of the Addendum, a robust consultation program was established.

There has been ongoing communication with various agencies (Steering Committee) regarding the Addendum including:

- Ministry of Environment and Climate Change (MOECC);
- Ministry of Natural Resources and Forestry (MNRF);
- Ministry of Municipal Affairs (MMA);
- Ministry of Tourism, Culture and Sport (MTCS);
- County of Essex;
- Town of LaSalle; and
- Essex Region Conservation Authority (ERCA).

At the inception of the project, monthly meetings and/or calls were held with the Steering Committee including a site visit on June 3, 2016.

To engage interested individuals and parties including First Nations, the public and landowners were contacted by mail. In addition, the Town placed notices of all Public Information Centres (PIC's) on their web-site.

In total, there were three (3) Public Information Centre's held within the Town on the following days:

- PIC# 1 – Vollmer Complex – June 6th, 2016 from 4:00pm to 8:00pm (refer to Appendix C);
- PIC# 2 - LaSalle Town Hall - July 27th, 2016 from 4:00pm to 7:00pm (refer to Appendix D);
- PIC# 3 – LaSalle Town Hall - December 15th, 2016 from 4:00pm to 7:00pm (refer to Appendix E);

The comments received from the public, agencies and interested parties were used to make appropriate revisions to the final report and figures. All comments received were collated and responses provided as needed. Copies of the comments received can be found in Appendices C, D, E and F.

The final opportunity for public consultation is to be the presentation to Council on March 28, 2017.

It should be noted that there were a large number of requests by the public for advice and input related to the development of individual lots or small development parcels on existing plans of subdivision. Many of these requests were outside the scope of this project and those individuals were directed to the appropriate approval agency (Town, County of Essex, ERCA, MNRF) for clarification.

As previously mentioned, additional approvals for the implementation of the proposed infrastructure is required to ensure that applicable regulations are being adhered to at the time of development.

The same is true for other Planning Act and development approvals for private lands. Individual landowners are responsible for obtaining their own development approvals as part of the preparation and submission of Draft Plan of Subdivision applications for individual properties located within the study area.

Figures

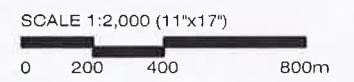


**CLASS ENVIRONMENTAL
ASSESSMENT ADDENDUM**
TOWN OF LASALLE, ONTARIO

STUDY AREA
FIGURE 1.0



STUDY AREA



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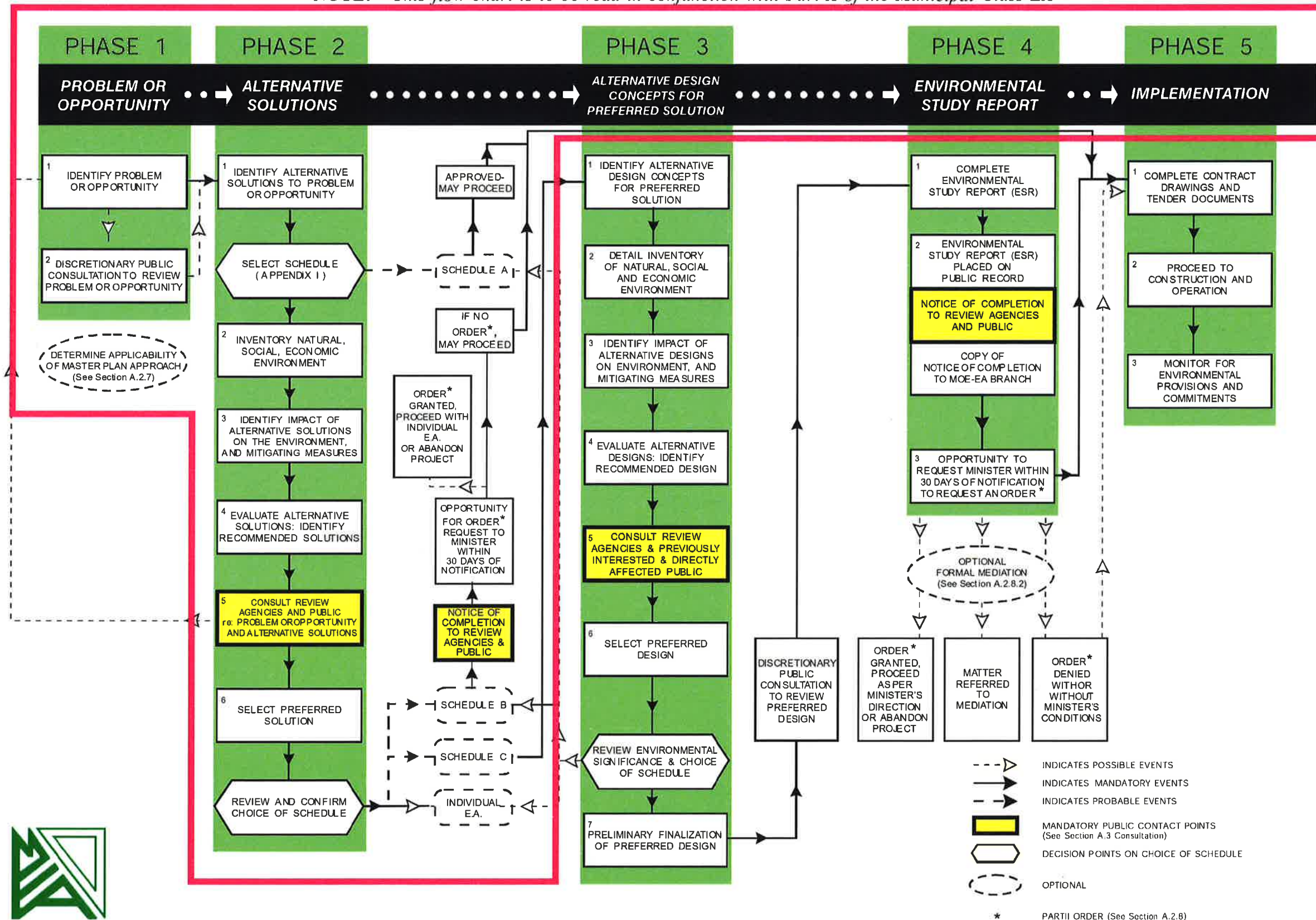


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DATE: 01/27/2017

EXHIBIT A.2

MUNICIPAL CLASS EA PLANNING AND DESIGN PROCESS

NOTE: This flow chart is to be read in conjunction with Part A of the Municipal Class EA



CLASS ENVIRONMENTAL ASSESSMENT ADDENDUM
TOWN OF LASALLE, ONTARIO

MUNICIPAL CLASS EA PLANNING AND DESIGN PROCESS
FIGURE 2.0

LIMITS OF SCHEDULE 2 ADDENDUM

SOURCE: MUNICIPAL CLASS ENVIRONMENTAL ASSESSMENT (2015, MUNICIPAL ENGINEERS ASSOCIATION) - EXHIBIT A.2

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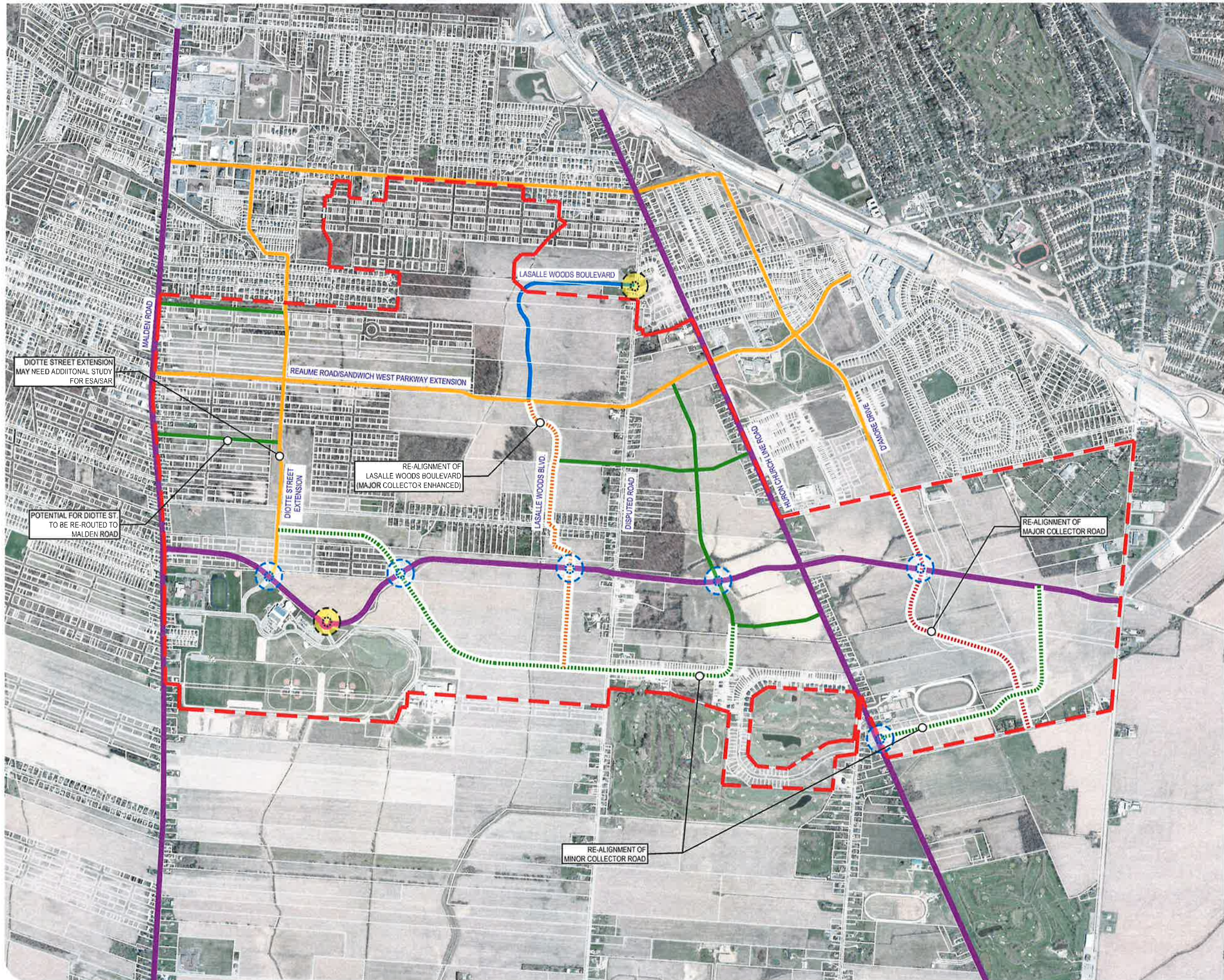
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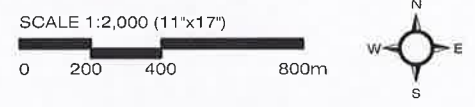
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CLASS ENVIRONMENTAL ASSESSMENT ADDENDUM
TOWN OF LASALLE, ONTARIO

PREFERRED SOLUTION: ROADWAYS
FIGURE 3.0

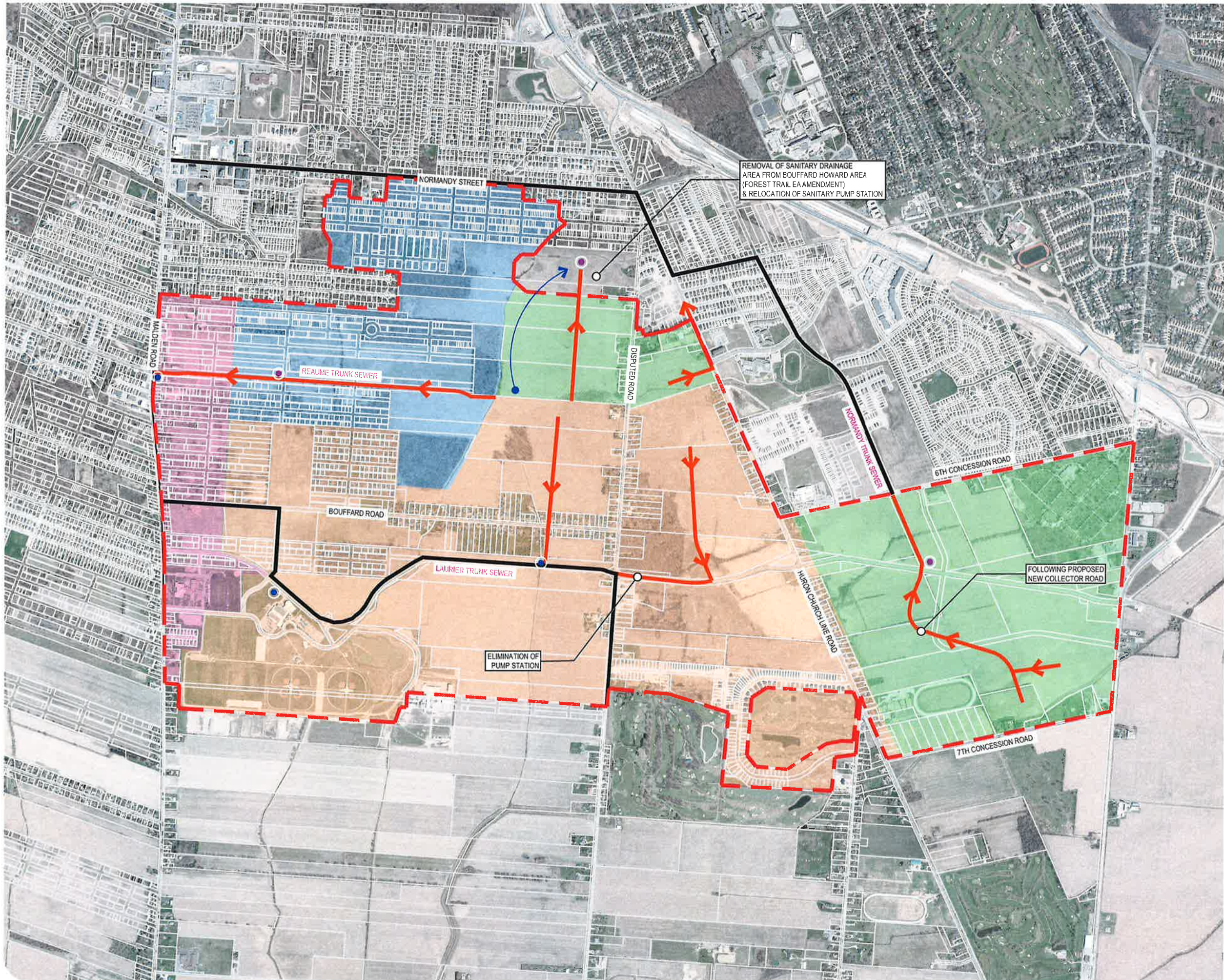
-  STUDY AREA
-  APPROVED / EXISTING ARTERIAL ROAD
-  APPROVED / EXISTING MAJOR COLLECTOR ROAD
-  APPROVED / EXISTING MAJOR COLLECTOR ROAD (ENHANCED)
-  APPROVED / EXISTING MINOR COLLECTOR ROAD
-  PREFERRED SOLUTION: MAJOR COLLECTOR ROAD
-  PREFERRED SOLUTION: MAJOR COLLECTOR ROAD (ENHANCED)
-  PREFERRED SOLUTION MINOR COLLECTOR ROAD
-  PROPOSED ROUNDABOUT
-  EXISTING ROUNDABOUT



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**CLASS ENVIRONMENTAL
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TOWN OF LASALLE, ONTARIO

**PREFERRED SOLUTION:
SANITARY**
FIGURE 4.0

-  STUDY AREA
-  EXISTING TRUNK SANITARY SEWER
-  PREFERRED TRUNK SANITARY SEWER
-  EXISTING SANITARY PUMP STATION
-  PREFERRED SANITARY PUMP STATION
-  LAURIER SERVICE BOUNDARY
-  REAUME SERVICE BOUNDARY
-  NORMANDY SERVICE BOUNDARY
-  MALDEN SERVICE BOUNDARY

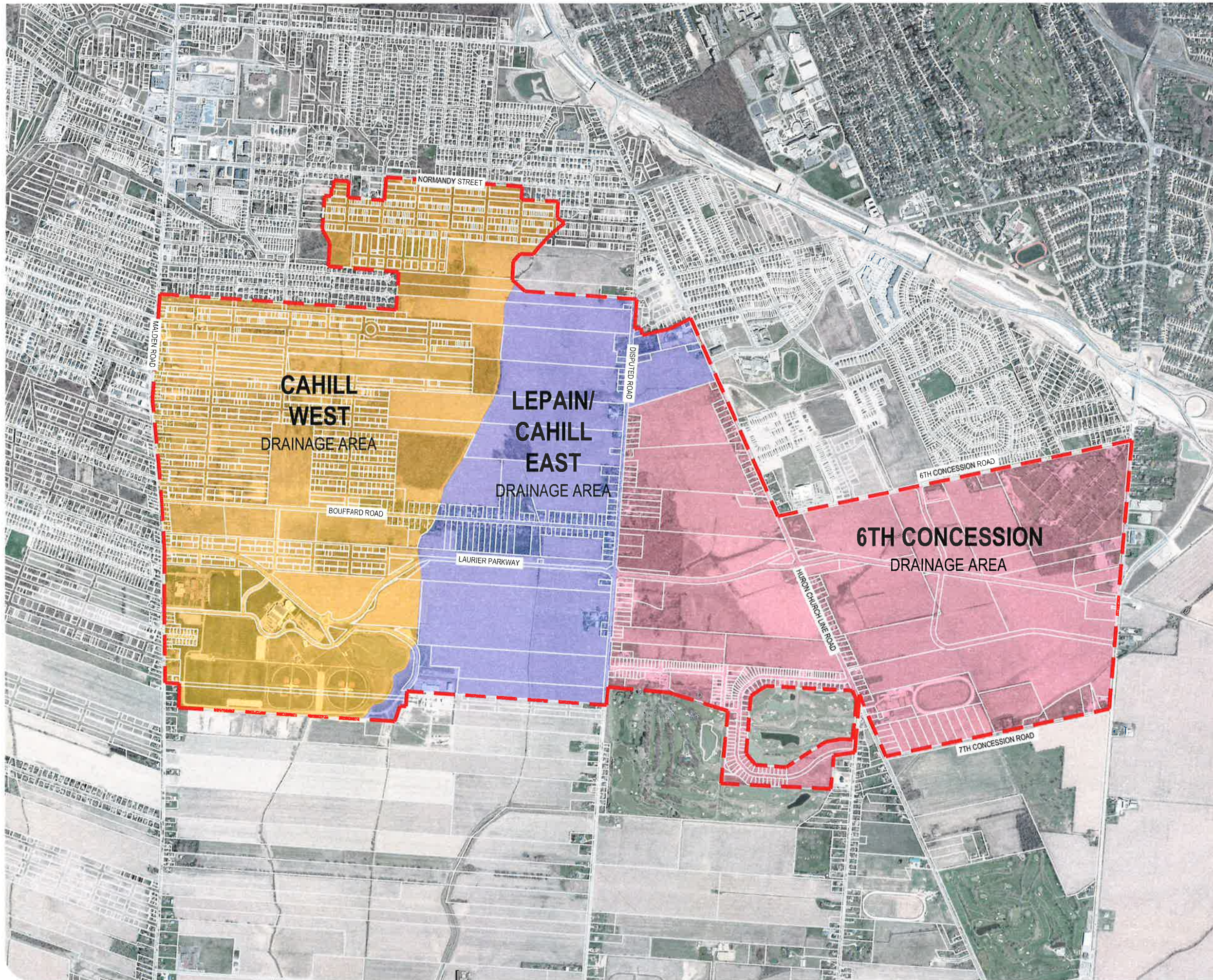


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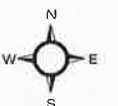
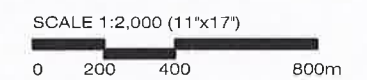
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CLASS ENVIRONMENTAL ASSESSMENT ADDENDUM
TOWN OF LASALLE, ONTARIO

PREFERRED SOLUTION: DRAINAGE AREAS
FIGURE 5.0

-  STUDY AREA
-  CAHILL WEST DRAINAGE AREA
-  LEPAIN / CAHILL EAST DRAINAGE AREA
-  6TH CONCESSION DRAINAGE AREA



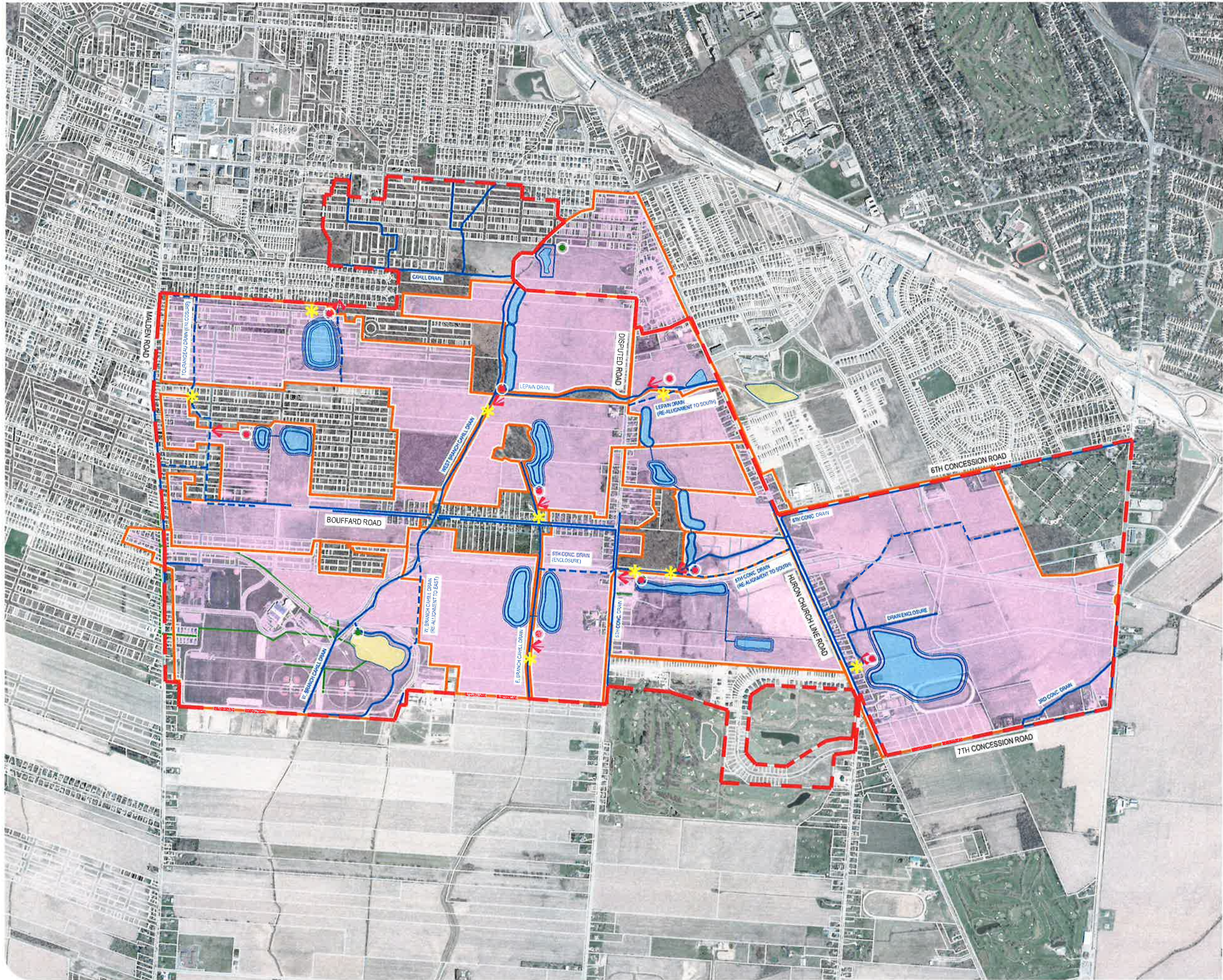
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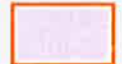









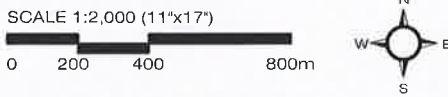
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CLASS ENVIRONMENTAL ASSESSMENT ADDENDUM
TOWN OF LASALLE, ONTARIO

PREFERRED SOLUTION: STORMWATER MANAGEMENT
FIGURE 6.0

-  STUDY AREA
-  MUNICIPAL DRAIN ALIGNMENT
-  PREFERRED DRAIN ALIGNMENT
-  EXISTING STORM SEWER
-  DRAINAGE BOUNDARY
-  EXISTING POND
-  PREFERRED POND
-  PREFERRED LINEAR FACILITY
-  EXISTING PUMP STATION
-  PREFERRED PUMP STATION
-  PREFERRED POND OUTLET
-  OUTLET CAPACITY ANALYSIS REQUIRED



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January, 27, 2017 3:10 PM



PROJECT: 16-3470
STATUS: FINAL
DATE: 01/27/2017

Appendix A

Stormwater Management Servicing Strategy



MEMO

TO: File
FROM: Ian Wilson, P. Eng.
DATE: January 23, 2017
SUBJECT: Howard Bouffard Planning Districts – Class Environmental Assessment Addendum – Stormwater Management Servicing Strategy
OUR FILE: 16-3470

1. Introduction

Dillon Consulting Limited (Dillon) was retained by major land owners to complete an Addendum of the existing Howard Bouffard Planning Districts Environmental Assessment (EA). In general the Addendum was prepared to promote development within the Planning Districts, by providing a servicing solution that is more constructible and cost effective. This memo was prepared to summarize the approach and findings of the Addendum's stormwater management servicing strategy.

The existing EA for the Howard Bouffard Planning Districts was completed in 2002 where property servicing information is presented in the Bouffard and Howard Planning Districts Master Servicing Study (MSS) (HGS 2002). A more detailed Functional Design Study (FDS) was completed as part of the Howard Bouffard Class EA (Dillon, 2005). The Bouffard and Howard Planning Districts Phase 1 – Review of Storm Water Management Servicing Strategy Report (SSR) (Dillon) was completed in 2015 and was used as background information in the preparation of this EA Addendum.

The recommended stormwater solution from the FDS (2005) is included within Appendix A, refer to Figure 4.4. The FDS (2005) identified SWM ponds and drainage boundaries and included more detailed servicing solutions with stormwater trunk sewer design being provided.

In general, the undeveloped lands within the study area are currently serviced by open drainage channels ultimately flowing either to Turkey Creek or Canard River. More recent developments, such as the Seven Lakes Development and the Vollmer Complex, have incorporated SWM facilities to control water quality and quantity. Note in this memo, pond will refer to both a wet pond and more generically SWM storage features.

2. Process Followed for Analysis

The SWM pond design methodology used in the development of this Addendum follows the same guidelines as the FDS (2005, Dillon) and the SSR (Dillon, 2015). Stormwater quality and quantity control wet ponds are proposed for managing stormwater runoff and were designed following the Ministry of the Environment and Climate Change (MOECC) Stormwater Management Planning and Design Manual (SWMPDM) (2003).

The same modelling software used in the FDS (2005) was also used in this Addendum, where stormwater runoff volumes were estimated using the Visual OTTHMYO Version 2.0 (VO2) software program. VO2 is a visual interface for the OTTHYMO hydrologic modelling software which simulates stormwater runoff. OTTHYMO has been accepted by MOECC, Ministry of Natural Resources and Forestry (MNRF), the Ministry of Transportation (MTO), Conservation Ontario (CO), and most municipal governments as a valid hydrologic simulation program.

“STANDHYD” type catchments are appropriate to simulate stormwater runoff from urban watersheds and were used for this study. Hydrologic losses represent the portion of precipitation that is intercepted or infiltrated into the ground, which does not become surface water runoff. The loss method applied to the FDS (2005), the Soil Conservation Services (SCS) Curve Number (CN) method, was used to estimate runoff volumes for the Addendum. A hydrologic soils group (HSG) is a group of soils having similar runoff potential under similar storm and cover conditions. Two HSG types cover the study area, Group C soils having a slow infiltration rate when thoroughly wet and Group D soils having very slow infiltration rate (i.e. high runoff potential) when thoroughly wet. A summary of the hydrologic input properties used in the assessment are summarized in Table 1.

Table 1: Summary of Hydrology Properties

SCS CN		
Land Cover	HSG C	HSG D
Grass Cover	74	80
Woods: Good Hydrologic Conditions	70	77
Percent Impervious Based on Land Use		
Land Cover	% Impervious	% Directly Connected
Residential Area	50 %	35 %
Highway Commercial Area	90 %	90 %

The Windsor Airport Climate Station precipitation data was used in this Addendum to estimate stormwater runoff volumes. The SWM ponds are designed to control runoff from a 100 year 6 hour storm event with no discharge, which follows the same design criteria as the FDS (2005). A 100 year 6 hour storm has a 1% probability of occurring in any given year and has a storm duration of 6 hours.

Various catchment boundary configurations, pond configurations (location, size, and layout), PS locations, and potential Municipal Drain realignments were considered for the Addendum. Factors that influenced the preferred solution include difficulty of assembling land for large regional facilities, potential timing of development, input from landowners/developers, and existing topography/drainage patterns.

In the FDS (2005), the SWM ponds were identified on a Municipal Drain outlet basis as requiring either an “Enhanced or “Normal” level of quality protection per the MOECC SWMPDM (2003). The level of quality protection identified on a Municipal Drain outlet basis in the prior studies did not change in this Addendum. The SWM ponds’ geometric design will follow the FDS (2005) and the MOECC (SWMPDM) (2003). The geometric design includes but is not limited to active storage depth, permanent pool depth, side slopes, normal water level and high water level.

Two meetings were held with the Essex Region Conservation Authority (ERCA) to discuss the Addendum's proposed SWM strategy, methodology and recommendations. The meeting minutes are provided in Appendix B. During design of SWM measures within the study area, it is recommended these minutes be reviewed and current design standards be confirmed with ERCA.

3. Changes from Existing Studies

The SWM changes from the existing studies include alterations to drainage area boundaries, the number and location of stormwater PS, and the number, size and location of SWM ponds. The preferred solution from the Addendum is presented in Figure C1 in Appendix C. A comparison of the number of SWM ponds and PSs in the FDS (2005) and the Addendum are summarized in Table 2.

Table 2: Comparison of SWM Solutions

EA Document	Number of SWM Ponds Identified	Number of SWM Pump Stations Identified
FDS (2005)	7	7
Addendum	18	9 + 2 Other Outlets*

*Note: the "other outlets" are being designed by others and may either be gravity outlet or pumped outlet

To address impediments of development, the number of SWM ponds has increased by 11; however, only 4 additional PSs or gravity type outlets are recommended in the Addendum when compared to the FDS (2005). This is accomplished by hydraulically linking the ponds which share a single PS under ultimate conditions.

The drainage area boundaries as noted above were altered to promote development, where possible, providing single SWM pond solutions to individual landowners/developers. Additionally in the Addendum, some lands within the study area are not shown to be included within the SWM pond catchment areas. These areas include:

- Existing developed residential properties where conveyance of stormwater runoff to a pond is impractical, (i.e. lands located on Bouffard Road between the West Branch of the Cahill Drain and Disputed Road);
- Lands within the Seven Lakes golf course and residential development where most of the runoff is directed and controlled by the existing SWM ponds within the golf course;
- The Heavenly Rest Family of Catholic Cemeteries, St. Nicholas Macedonian Orthodox Church, and the Apostolic Christian Church which will continue to drain to the existing waterway west of these properties; and
- Natural environment areas as identified in the County of Essex Official Plan (2014) which would be conveyed to an existing drain or waterway by-passing SWM ponds.

This Addendum does not include recommendations for the SWM ponds' allowable release rates. As identified in the FDS (2005), the proposed SWM storage pond release rates were based on being equal to or less than, the 5 year pre-development release rate and were to be confirmed during design based on the existing available capacity of the receiving waterways. A capacity assessment of the receiving

waterways to determine the SWM ponds' release rate must be completed, as part of the preparation of the SWM reports.

As noted in Section 2.0, the SWM ponds were design to control runoff from the 100 year 6 hour storm event; however, the impact of the 100 year 24 hour design storm was also considered when assessing the recommended SWM ponds. An assessment found that in general the proposed ponds were resilient under a no release scenario with the pond's freeboard being reduced, but the high water level still being below the top of bank.

4. Final Recommendations

Based upon the above information, the preferred SWM servicing solution is presented in Figure C1 in Appendix C. A summary of the SWM catchment areas with the associated 100 year quantity control volumes and level of quality protection per the MOECC SWMPDM (2003) are presented in Table 3.

Table 3: Summary of the Preferred SWM Solution

Catchment ID	Catchment Area (ha)	100 Year Storm Event Runoff Volume (m ³)	Outlet Drain [Level of Protection, MOECC 2003]	Pump Station Outlet ID
CA_CW_NP	84.60	50,200	Cahill [Enhanced]	PS #1
CA_CW_SP	64.23	37,800	Tourangeau [Normal]	PS #2
CA_CE_N1	44.76	26,400	EBC [Enhanced]	PS #3
CA_LEPAIN	45.86	27,000	LePain [Normal] or WBC [Enhanced]	PS #4
CA_CE_S2	48.77	30,000	EBC [Enhanced]	PS #5
CA_CE_S3	46.73	28,700	EBC [Enhanced]	PS #5
CA_6T_C1	15.91	9,400	SCD [Normal]	PS #6
CA_6T_C2	15.63	9,100	SCD [Normal]	PS #6
CA_6T_C3	16.34	10,000	SCD [Normal]	PS #6
CA_6T_C4	10.34	6,200	SCD [Normal]	PS #6
CA_6T_C5	37.20	22,300	SCD [Normal]	PS #7
CA_6T_C6	Design completed by others		SCD [Normal]	PS #7
CA_6B	188.45	119,400	SCBD [Normal]	PS #8
CA_GRILLO	Design completed by others		LePain [Normal]	OUT #9
CA_FOREST	Design completed by others		Cahill [Enhanced]	OUT #10
CA_VOLLMER	117.59	*Pond Constructed	WBC [Enhanced]	Existing PS

Note: EBC - Refers to the East Branch of the Cahill Drain; WBC - refers to the West Branch of the Cahill Drain; SCD - refers to Sixth Concession Drain; SCBD - refers to Sixth Concession Branch Drain

Note that VO2 model input and result data is included in Appendix C.

During the subdivision design process several SWM objectives not explicitly formulated in this Addendum should be considered. This list includes but is not limited to:

- Design of overland flow routes (major system flows) to adequately convey storm events up to and including the 100 year event;
- Design of SWM measures which consider the impact of climate change;
- An understanding that SWM guidelines are fluent and that consideration should be given for the “yet to be released” MOECC SWM Low Impact Development guidance document; and
- That appropriate capacity assessments be completed confirming the conveyance capacity of the Municipal Drains and waterways receiving stormwater from the ponds.

It should be noted that there may be a need for interim solutions in order to accommodate phased development. The preferred solution provides flexibility for phased or interim SWM solutions. Interim measures should at a minimum:

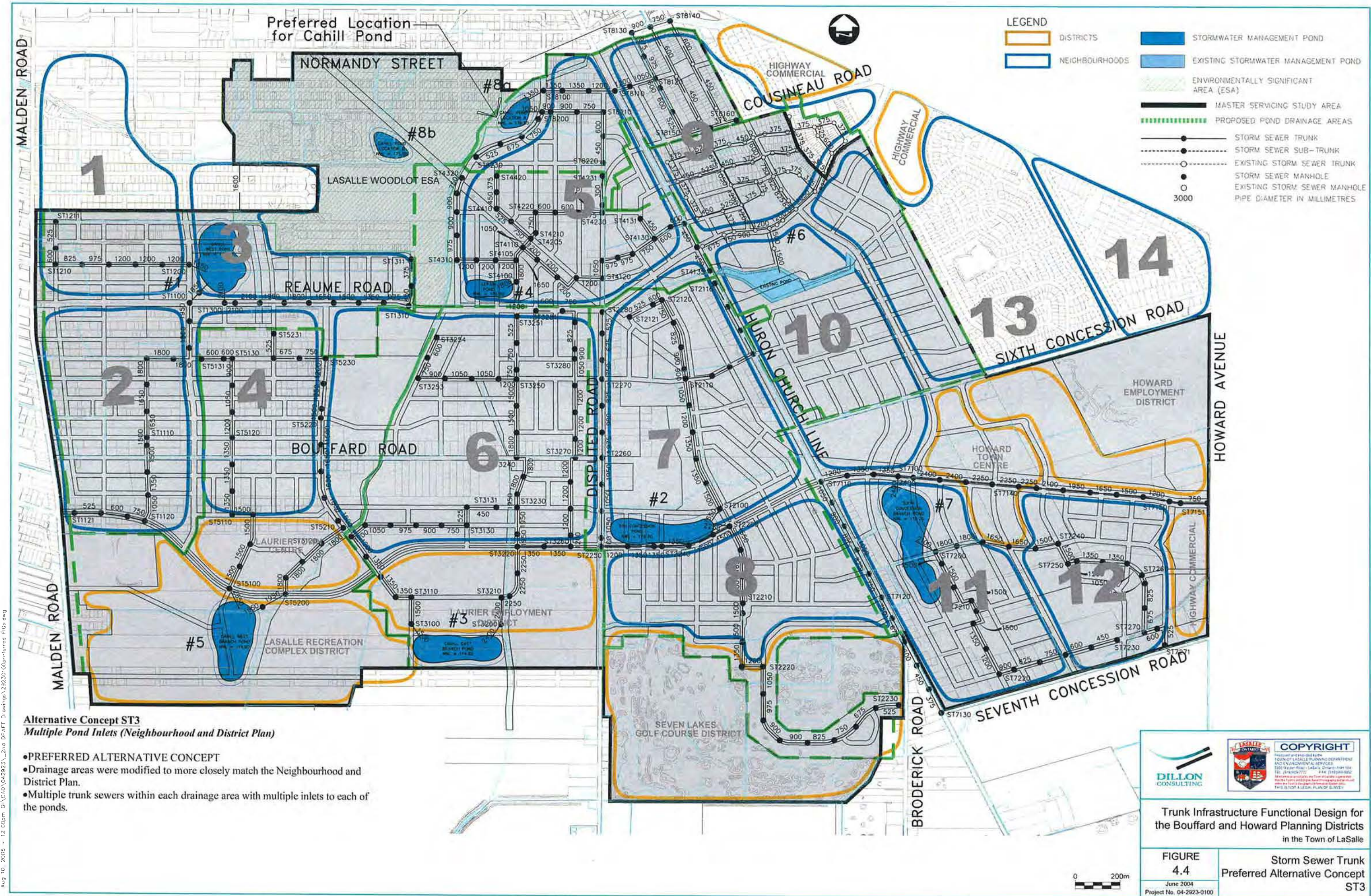
- Be designed to meet the criteria established in this Addendum and where appropriate the FDS (2005);
- Not encumber the ability of others to service their lands; and
- Be able to be incorporated into the final servicing plan of the study area.

Additional requirements for interim development should be confirmed with the Town and ERCA and all necessary approvals and/or permits shall be obtained.

The preferred solution SWM ponds and drainage boundaries differ from the FDS (2005), and therefore design of conveyance infrastructure will need to be reconsidered. This should include both the minor system conveyance (storm sewers, etc.) and major system conveyance (roadways, etc.). The locations and sizes of the SWM ponds presented in Figure C1 are representative only and may be altered in detailed design. The drainage area boundaries and pond storage volumes were estimated to provide the next steps toward development, where this information can be used for planning and preliminary design. Final preferred solutions will be developed during phase 2 of the project, which will include conveyance systems and final pond design.

Appendix A

Existing Study Information



Alternative Concept ST3
Multiple Pond Inlets (Neighbourhood and District Plan)

- PREFERRED ALTERNATIVE CONCEPT
- Drainage areas were modified to more closely match the Neighbourhood and District Plan.
- Multiple trunk sewers within each drainage area with multiple inlets to each of the ponds.

DILLON CONSULTING

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 AND ENVIRONMENTAL SERVICES
 5300 Avenue Royal, LaSalle, Quebec, H9R 1A1
 (514) 383-7777 Fax: (514) 383-7778
 This is not a legal plan of survey.

Trunk Infrastructure Functional Design for
 the Bouffard and Howard Planning Districts
 in the Town of LaSalle

FIGURE 4.4
 Storm Sewer Trunk Preferred Alternative Concept ST3

June 2004
 Project No. 04-2623-0100

Aug 10, 2005 - 12:00pm G:\CAD\042623\2nd DRAFT Drawings\39230100\Preferred_FIG 4.dwg

Appendix B

SWM Design Meeting Minutes



MEETING MINUTES

Subject: Howard Bouffard Environmental Assessment (EA) Addendum – Stormwater Management (SWM) & Municipal Drain Outlet Review

Date and Time: November 16, 2016, 1:00 p.m.

Location: Dillon Consulting Limited

Our File: 16-3470

Attendees

John Henderson	Essex Region Conservation Authority (ERCA)
Michael Nelson	Essex Region Conservation Authority (ERCA)
Jonathan Osborn	Town of LaSalle
Larry Silani	Town of LaSalle
Peter Marra	Town of LaSalle
Karl Tanner	Dillon Consulting Limited
Nicole Caza	Dillon Consulting Limited
Melanie Muir	Dillon Consulting Limited
Whitney Moore	Dillon Consulting Limited
Ian Wilson	Dillon Consulting Limited

Updated Meeting Minutes

Meeting minutes revised based on feedback received. Revisions are highlighted.

Notes

Item	Discussion	Action By
1.	<p>Information</p> <p>General purpose of the meeting is to provide an update of the proposed SWM recommendations in the EA addendum. The addendum is being completed to help promote development. The SWM revisions include a review of drainage area boundaries including the number and location of management facilities.</p>	Information
1.1.	An overview of the SWM pond design methodology in the Bouffard and Howard Planning Districts Functional Design Study (FDS) (August 2005) and the Bouffard and Howard Planning Districts Master Servicing Study (MSS) (2002) was provided.	
1.2.	As per the FDS, ponds were sized to hold runoff volume from the 100 year 6 hour storm with no release where the proposed pump out rates were equal to or less than the estimated 5 year pre-development peak rate.	

2. **Available Outlet Capacity** Dillon/ ERCA
 ERCA reiterated their 2005 comments in the FDS, that the allowable release from the storage facilities should be finalized during the actual pond designs based on the available capacity of the outlet drain and that the estimated proposed pump out rates in the FDS are not necessarily indicative of the receiving waterways conveyance capacity.
- 2.1. It was previously intended that confirming the receiving waterways conveyance capacity would be confirmed in detailed design.
- 2.2. The potential benefit of developing a release rate per area (i.e. l/s/ha) based on the capacity of the outlet drains was discussed. This would provide a more consistent design standard for development which could meet the available capacity concerns. It was agreed by all that outlet release rates of the proposed SWM facilities are a key design component that need to be addressed, however, the timing of this analysis was still to be determined since this is typically completed during design and often as part of the SWM reports.
- 2.3. It was later noted by the Town that improvements to the downstream drains could increase the conveyance capacity and reduce SWM quantity control volume required.
3. **Drainage Act Works** Information
 It was noted that many of the proposed alterations in the EA Addendum including but not limited to drain relocations, new crossings, and alterations of catchment areas will need to be addressed under the Drainage Act.
- 3.1. It was noted that to get Drainage Act Reports passed a common turnaround time is likely 1 to 2 years. This may further slowdown the development process, but would likely be easier now with fewer land owners.
- 3.2. Drainage Act Reports could be completed concurrently with other development processes.
4. **Climate Change & LIDs** Information
 Climate change should be discussed in the EA Addendum to ensure that consideration is given during detailed design. Consideration should be given to Low Impact Development (LID) measures. It is understood that future development will need to follow the current design standard practices when being completed.
- 4.1. The current SWM pond designs have resiliency built-in and

it was noted that with alterations, additional volume could be provided.

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| 5. | <p>Potential Future Studies
Based on the ERCA concern of the available outlet capacity of the receiving drains, it was proposed that the EA Addendum provide a recommendation to complete an overall assessment of the capacity of the outlet drains and proposed release rates.</p> <p>5.1. It was discussed whether this potential future study should be based on the current capacity of the drains (i.e. based on in drain surveys) or based on the theoretical capacity of drains (considering the existing By-Laws). Using the current capacity would likely be conservative as it is anticipated that it would be less than the theoretical capacity of the improved and cleaned drains.</p> <p>5.2. An analysis is required through the survey of existing drains to determine the existing capacity and the per hectare release rate.</p> | Dillon/ ERCA/ LaSalle |
| 6. | <p>Terms of Reference
It was discussed whether or not the current Terms of Reference for the EA Addendum needs to be modified to address the need to identify the downstream effects of development based on current capacity.</p> <p>6.1. It was agreed that the capacity of downstream drains would be reviewed separately from the EA Addendum, and that Dillon would discuss further with the developers.</p> <p>6.2. ERCA had left the meeting around the time of this discussion.</p> | Dillon |
| 7. | <p>Interim Update Letter
The Town requested that an informal document be provided outlining discussions with regulators (MNRF, ECRA, etc.), what are the timelines, and what steps are left to complete EA Addendum.</p> | Dillon |
| 8. | <p>Future Regulatory Processes
A map of potential development areas within the study boundary was developed which included select regulatory processes required for development.</p> <p>8.1. The map is attached to this document.</p> | Dillon |
| 9. | <p>Potential Information in Addendum
The Town recommended that the EA Addendum include information outlining which scenarios trigger what requirements.</p> | Dillon |

- 9.1. It was agreed that Dillon will proceed with the Final EA Addendum Report with a recommendation to proceed with the “Commitment to Complete” a companion investigation of downstream capacities. The cost of this companion investigation should be shared amongst all major landowners.
- 9.2. The Capacity Assessment will not be completed as part of the EA Addendum. However, the Addendum will note review, feedback, and general agreement with the findings of the assessment will be confirmed with ERCA and the Town.
- 9.3. The drains proposed to receive discharge from the storage features within the study area are currently being utilized as the outlets for the undeveloped lands. The Capacity Assessment is intended to review the conveyance capacity of the existing drains, where it is anticipated recommendations would include prescribed release rates based on existing drain capacity, and where necessary, improvements to the drains (i.e. widening, deepening, cleaning, etc.). Additionally, it is anticipated no changes to the drainage boundaries provided in the EA Addendum will be required. If improvements to the drains are identified, these would be completed under the Drainage Act and not under the Class EA process.
- 9.4. On the transportation aspect of the EA, the design was developed in such a way to avoid the Natural Heritage Core Features.
10. **Next Steps** Information
 For the EA Addendum the next Public Information Center (PIC) is tentatively scheduled for December 15th, 2016 with the EA Addendum Report being submitted to the town in mid-January 2017 and a potential presentation to Council on Jan 24th, 2017.

Errors and/or Omissions

These minutes were prepared by Ian Wilson, P. Eng., who should be notified of any errors and/or omissions.

IW:mi

November 22, 2016 (orig.)
 December 2, 2016 (revised)



MEETING MINUTES

Subject: Howard Bouffard Environmental Assessment (EA) Addendum – Stormwater Management (SWM) Design Review

Date and Time: October 12, 2016 10:00 am

Location: Essex Region Conservation Authority (ERCA) Office (360 Fairview Avenue West, Essex, Ontario)

Our File: 16-3471

Attendees

John Henderson, P. Eng.	ERCA
Ian Wilson, P. Eng.	Dillon Consulting Limited

Notes

Item	Discussion	Action By
1.	Discussed general purpose of EA Addendum (i.e. promote development). SWM revisions include a review of drainage area boundaries including the number and location of management facilities. Key existing studies were noted:	Information
1.1.	Bouffard and Howard Planning Districts Master Servicing Study (MSS) (2002); and	
1.2.	Howard Planning Districts Functional Design Study (FDS) (August 2005).	
2.	Quantity Control	Dillon Consulting Limited
2.1.	The storage facilities in the FDS were designed to provide quantity control volumes for a 1:100 year rainfall event (6 hour SCS Type II) with no discharge.	
2.2.	ERCA had noted that based on recent flooding events, the design standard that may need to be considered in detailed design is a 1:100 year 24 hour event with no discharge, which is a more stringent requirement. Dillon will investigate the impacts of a 24 hour 100 year storm on the proposed SWM facilities.	
3.	Quality Control	Dillon Consulting Limited
3.1.	In the FDS runoff released from the storage facilities was identified as requiring either an “Enhanced” or “Normal” Level of Protection per the Ministry of Environment and Climate Change (MOECC) Manual (2003).	
3.2.	As the Canard River supports species at risk (SAR), ERCA had noted a preference that an “Enhanced” Level of Protection be provided for all Drains outletting to the Canard River.	

- | | |
|--|----------------------------------|
| <p>4. Interim Design (i.e. non-full build outs)</p> <p>4.1. Interim designs will follow the design criteria identified for full build outs. Interim SWM design will be consistent with the design criteria identified in the Addendum.</p> <p>4.1.1. The question was raised as to how sites that are not adjacent to a proposed facility will be addressed in the interim. It is understood that specifics cannot be provided at this time, however, the methods that would be acceptable to the Town should be noted (or what is not acceptable).</p> | <p>Dillon Consulting Limited</p> |
| <p>5. Overland Flow Routing</p> <p>5.1. During detailed design overland flow routes (major system flows) must be considered and provided to adequately convey storm events up to and including the 100 year event.</p> <p>5.1.1. If overland routing is not an option, temporary road storage, oversized pipes, etc. may be needed until the sewers have capacity to convey the runoff from major events to the storm ponds.</p> <p>5.2. It is recommended that if an updated functional design study is completed that key road elevations be developed as a potential solution for the conveyance of major system flows. The Addendum is not an update to the FDS (2005) and will not include this information.</p> | <p>Information</p> |
| <p>6. Storage Facility Geometry</p> <p>6.1. Storage facilities' geometric design will follow the FDS and the MOECC Manual (2003).</p> | <p>Information</p> |
| <p>7. Approved Outlets/Allowable Release Rate</p> <p>7.1. ERCA had noted that previous comments included in the FDS (2005) stated that the allowable release from the storage facilities should be estimated based on the available capacity of the outlet drain. Additionally, the estimated allowable release rates noted in the FDS are not necessarily indicative of the receiving waterways conveyance capacity.</p> <p>To further clarify the above; the MSS sized ponds based on matching allowable rates to 5 and 100 year pre-development peak flow rates. The FDS allowable release rates matched the 5 year per the MSS. Proposed release rates are equal to or less than allowable, where the ponds are sized for zero release. The actual release rates for the ponds will be confirmed in detailed design, which will consider the available capacity of the proposed outlet, existing release rate and the other catchments using the outlet.</p> | <p>Information</p> |

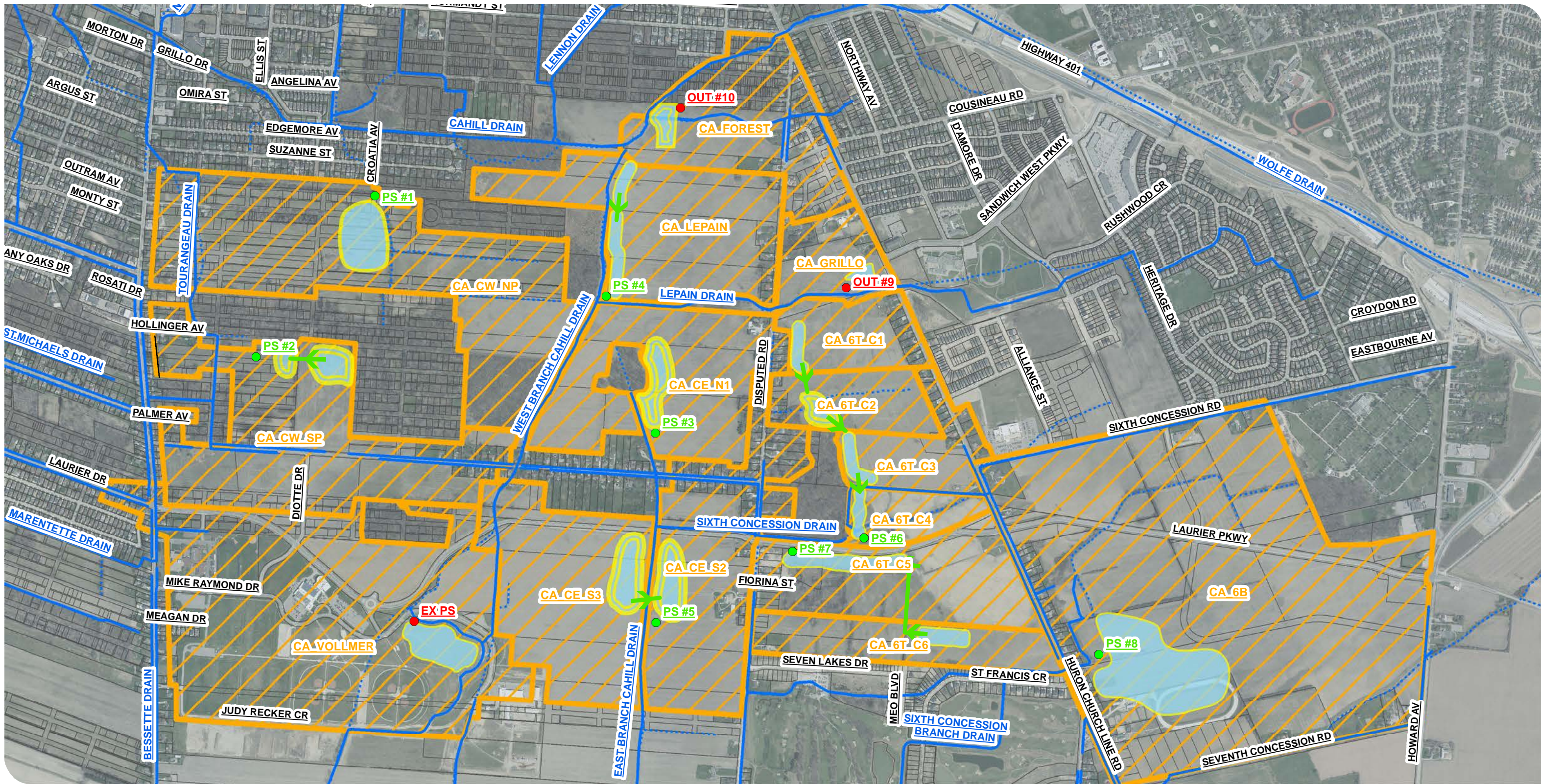
8. Climate Change & Low Impact Development (LID) Information
- 8.1. Climate change should be discussed in the Addendum to ensure that consideration is given for it now and no surprises arise in detailed design.
- 8.2. It was noted that the MOECC is intending to publish a LID Stormwater Management guidance document. Consideration should be given to LID measures.

Errors and/or Omissions

These minutes were prepared by Ian Wilson, P. Eng. who should be notified of any errors and/or omissions.

Appendix C

Technical Design Information



**HOWARD/BOUFFARD
CLASS ENVIRONMENTAL
ASSESSMENT ADDENDUM**

**PREFERRED SWM STRATEGY
CATCHMENT AREAS, PONDS, & PUMP
STATIONS**

FIGURE C1

- STUDY SUB-CATCHMENTS
- PONDS OR STORAGE FEATURES
- EXISTING SWM OUTLET OR OUTLET DESIGNED BY OTHERS
- MUNICIPAL DRAIN
- SWM PUMP STATION
- MNRF MAPPING WATERWAYS
- EXISTING PROPERTY FABRIC



MAP DRAWING INFORMATION:
DATA PROVIDED BY MNR

MAP CREATED BY: PFM
MAP CHECKED BY: PK
MAP PROJECTION: NAD 1983 UTM Zone 17N

0 125 250 500 Meters

SCALE 1:15,000



FILE LOCATION: \\DILLON.CA\DILLON_DFS\LONDON\LONDON CAD\GIS\VISUAL COMMUNICATIONS DIMXD TEMPLATES\BLUE - 11X17 LANDSCAPE - LEGEND BOTTOM.MXD

PROJECT: 16-3471 STATUS: DRAFT DATE: 08/24/11

Hydrology Properties		
Curve Numbers (TR-55, MTO 1997)	Type C Soil	Type D Soil
Land Cover	CN AMC II	CN AMC II
Grass 75% + cover; good HC	74	80
Woods; good HC	70	77
Percent Impervious Based on Land Use		
Land Cover	%IMP	%IM Dir
Residential Area	50%	35%
Highway Commercial Area	90%	90%
la Based on Land Use	la (mm)	
Grass 75% + cover; good HC	3.5	
Woods; good HC	7.0	
All IMP surfaces (i.e. DS)	1.5	

Catchment Properties																
Catchment ID	Total Area (ha)	Wood Area (ha)	Residential Area (ha)	Commercial Area (ha)	% HSG C - Res	% HSG D - Res	%HSG C - Woods	%HSG D - Woods	Area IMP (ha)	%IMP	%IMP Dir	CN AMC II	IMP DS (mm)	PER la (mm)	Slope IMP (%)	Slope PER (%)
CA_CW_NP	84.60	0.00	82.66	1.94	100%	0%	0%	0%	43.08	51%	36%	74.0	1.5	3.5	0.4	0.4
CA_CW_SP	64.23	0.00	64.23	0.00	100%	0%	0%	0%	32.12	50%	35%	74.0	1.5	3.5	0.4	0.4
CA_CE_N1	44.76	0.00	44.76	0.00	100%	0%	0%	0%	22.38	50%	35%	74.0	1.5	3.5	0.4	0.4
CA_CE_S2	48.77	1.99	46.78	0.00	26%	75%	84%	21%	23.39	48%	34%	78.7	1.5	3.8	0.4	0.4
CA_CE_S3	46.73	0.00	46.73	0.00	44%	56%	0%	0%	23.37	50%	35%	77.4	1.5	3.5	0.4	0.4
CA_LEPAIN	45.86	0.00	45.86	0.00	100%	0%	0%	0%	22.93	50%	35%	74.0	1.5	3.5	0.4	0.4
CA_6T_C1	15.91	0.00	15.91	0.00	100%	0%	0%	0%	7.95	50%	35%	74.0	1.5	3.5	0.4	0.4
CA_6T_C2	15.63	0.56	15.07	0.00	92%	8%	100%	0%	7.54	48%	34%	74.2	1.5	3.7	0.4	0.4
CA_6T_C3	16.34	0.00	16.34	0.00	44%	56%	0%	0%	8.17	50%	35%	77.4	1.5	3.5	0.4	0.4
CA_6T_C4	10.34	0.00	10.34	0.00	64%	36%	0%	0%	5.17	50%	35%	76.1	1.5	3.5	0.4	0.4
CA_6T_C5	37.20	3.59	37.20	0.00	54%	46%	100%	0%	18.60	50%	35%	75.7	1.5	4.1	0.4	0.4
CA_6B	188.45	0.00	188.45	0.00	0%	100%	0%	100%	94.23	50%	35%	80.0	1.5	3.5	0.4	0.4

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V  V  I  SS  U  U  A  A  L
VV  I  SSSSS  UUUUU  A  A  LLLLL
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***** D E T A I L E D O U T P U T *****

Input filename: C:\Program Files\Visual OTTHYMO v2.0\vojn.dat
 Output filename: G:\CAD\163471-1\NEWMOD-1\FINALM-1\PROPOS-1\Scenari o1. out
 Summary filename: G:\CAD\163471-1\NEWMOD-1\FINALM-1\PROPOS-1\Scenari o1. sum

DATE: 1/24/2017 TIME: 11:22:48 AM
 USER:

COMMENTS: _____

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** SIMULATION NUMBER: 4 **
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MASS STORM
Ptotal = 86.20 mm
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Filename: C:\Howard Buffard EA\VO2\Proposed Conditions\
 6hrSCSI110.mst
 Comments: SCS 6 HR MASS CURVE (MTO Design Manual)

Duration of storm = 5.83 hrs
 Mass curve time step = 10.00 min

TIME	RAIN	TIME	RAIN	TIME	RAIN	TIME	RAIN
hrs	mm/hr	hrs	mm/hr	hrs	mm/hr	hrs	mm/hr
.17	3.10	1.67	8.28	3.17	18.62	4.67	5.17
.33	3.62	1.83	8.79	3.33	19.14	4.83	5.17
.50	5.17	2.00	10.34	3.50	8.79	5.00	3.62
.67	5.17	2.17	10.34	3.67	8.28	5.17	3.10
.83	5.17	2.33	10.34	3.83	8.79	5.33	3.62
1.00	5.17	2.50	51.72	4.00	6.72	5.50	3.62
1.17	5.17	2.67	93.10	4.17	7.24	5.67	3.10
1.33	5.17	2.83	134.47	4.33	6.72	5.83	3.62
1.50	8.79	3.00	19.14	4.50	5.17		

```
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CALIB
STANDHYD (0001)
ID= 1 DT= 5.0 min
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```

Area (ha)= 84.60
 Total Imp(%)= 51.00 Dir. Conn.(%)= 36.00

Catchment
 CA_CW_NP

Scenari o1. out

		IMPERVIOUS	PERVIOUS (i)
Surface Area	(ha)=	43.15	41.45
Dep. Storage	(mm)=	1.50	3.50
Average Slope	(%)=	.40	.40
Length	(m)=	751.00	35.00
Mannings n	=	.013	.250

NOTE: RAINFALL WAS TRANSFORMED TO 5.0 MIN. TIME STEP.

----- TRANSFORMED HYETOGRAPH -----							
TIME	RAIN	TIME	RAIN	TIME	RAIN	TIME	RAIN
hrs	mm/hr	hrs	mm/hr	hrs	mm/hr	hrs	mm/hr
.083	3.10	1.583	8.28	3.083	18.62	4.58	5.17
.167	3.10	1.667	8.28	3.167	18.62	4.67	5.17
.250	3.62	1.750	8.79	3.250	19.14	4.75	5.17
.333	3.62	1.833	8.79	3.333	19.14	4.83	5.17
.417	5.17	1.917	10.34	3.417	8.79	4.92	3.62
.500	5.17	2.000	10.34	3.500	8.79	5.00	3.62
.583	5.17	2.083	10.34	3.583	8.28	5.08	3.10
.667	5.17	2.167	10.34	3.667	8.28	5.17	3.10
.750	5.17	2.250	10.34	3.750	8.79	5.25	3.62
.833	5.17	2.333	10.34	3.833	8.79	5.33	3.62
.917	5.17	2.417	51.72	3.917	6.72	5.42	3.62
1.000	5.17	2.500	51.72	4.000	6.72	5.50	3.62
1.083	5.17	2.583	93.10	4.083	7.24	5.58	3.10
1.167	5.17	2.667	93.10	4.167	7.24	5.67	3.10
1.250	5.17	2.750	134.47	4.250	6.72	5.75	3.62
1.333	5.17	2.833	134.47	4.333	6.72	5.83	3.62
1.417	8.79	2.917	19.14	4.417	5.17		
1.500	8.79	3.000	19.14	4.500	5.17		

Max. Eff. Inten. (mm/hr)=	134.47	114.93
over (min)	10.00	25.00
Storage Coeff. (min)=	10.02 (ii)	20.00 (ii)
Unit Hyd. Tpeak (min)=	10.00	25.00
Unit Hyd. peak (cms)=	.11	.05

PEAK FLOW (cms)=	8.70	5.98	*TOTALS*
TIME TO PEAK (hrs)=	2.83	3.08	12.897 (iii)
RUNOFF VOLUME (mm)=	84.10	45.46	2.92
TOTAL RAINFALL (mm)=	85.60	85.60	59.37
RUNOFF COEFFICIENT =	.98	.53	85.60
			.69

- (i) CN PROCEDURE SELECTED FOR PERVIOUS LOSSES:
CN* = 74.0 Ia = Dep. Storage (Above)
- (ii) TIME STEP (DT) SHOULD BE SMALLER OR EQUAL THAN THE STORAGE COEFFICIENT.
- (iii) PEAK FLOW DOES NOT INCLUDE BASEFLOW IF ANY.

CALIB
STANDHYD (0003)
ID= 1 DT= 5.0 min

Area (ha)= 64.23
Total Imp(%)= 50.00 Dir. Conn.(%)= 35.00

Catchment
CA_CW_SP

		IMPERVIOUS	PERVIOUS (i)
Surface Area	(ha)=	32.12	32.12
Dep. Storage	(mm)=	1.50	3.50
Average Slope	(%)=	.40	.40
Length	(m)=	654.40	35.00
Mannings n	=	.013	.250

Max. Eff. Inten. (mm/hr)=	134.47	98.14
over (min)	10.00	20.00
Storage Coeff. (min)=	9.22 (ii)	19.86 (ii)
Unit Hyd. Tpeak (min)=	10.00	20.00
Unit Hyd. peak (cms)=	.12	.06

TOTALS

Scenario1. out

PEAK FLOW	(cms)=	6.59	4.79	10.378 (iii)
TIME TO PEAK	(hrs)=	2.83	3.00	2.92
RUNOFF VOLUME	(mm)=	84.10	45.35	58.91
TOTAL RAINFALL	(mm)=	85.60	85.60	85.60
RUNOFF COEFFICIENT	=	.98	.53	.69

- (i) CN PROCEDURE SELECTED FOR PERVIOUS LOSSES:
CN* = 74.0 Ia = Dep. Storage (Above)
- (ii) TIME STEP (DT) SHOULD BE SMALLER OR EQUAL THAN THE STORAGE COEFFICIENT.
- (iii) PEAK FLOW DOES NOT INCLUDE BASEFLOW IF ANY.

CALIB
STANDHYD (0004)
ID= 1 DT= 5.0 min

Area (ha)= 44.76
Total Imp(%)= 50.00 Dir. Conn. (%)= 35.00

Catchment
CA_CW_N1

		IMPERVIOUS	PERVIOUS (i)	
Surface Area	(ha)=	22.38	22.38	
Dep. Storage	(mm)=	1.50	3.50	
Average Slope	(%)=	.40	.40	
Length	(m)=	546.30	35.00	
Mannings n	=	.013	.250	
Max. Eff. Inten.	(mm/hr)=	134.47	98.14	
over	(min)	10.00	20.00	
Storage Coeff.	(min)=	8.27 (ii)	18.91 (ii)	
Unit Hyd. Tpeak	(min)=	10.00	20.00	
Unit Hyd. peak	(cms)=	.13	.06	
				TOTALS
PEAK FLOW	(cms)=	4.74	3.42	7.374 (iii)
TIME TO PEAK	(hrs)=	2.83	3.00	2.92
RUNOFF VOLUME	(mm)=	84.10	45.35	58.91
TOTAL RAINFALL	(mm)=	85.60	85.60	85.60
RUNOFF COEFFICIENT	=	.98	.53	.69

- (i) CN PROCEDURE SELECTED FOR PERVIOUS LOSSES:
CN* = 74.0 Ia = Dep. Storage (Above)
- (ii) TIME STEP (DT) SHOULD BE SMALLER OR EQUAL THAN THE STORAGE COEFFICIENT.
- (iii) PEAK FLOW DOES NOT INCLUDE BASEFLOW IF ANY.

CALIB
STANDHYD (0010)
ID= 1 DT= 5.0 min

Area (ha)= 45.86
Total Imp(%)= 50.00 Dir. Conn. (%)= 35.00

Catchment
CA_LEPAIN

		IMPERVIOUS	PERVIOUS (i)	
Surface Area	(ha)=	22.93	22.93	
Dep. Storage	(mm)=	1.50	3.50	
Average Slope	(%)=	.40	.40	
Length	(m)=	552.90	35.00	
Mannings n	=	.013	.250	
Max. Eff. Inten.	(mm/hr)=	134.47	98.14	
over	(min)	10.00	20.00	
Storage Coeff.	(min)=	8.33 (ii)	18.97 (ii)	
Unit Hyd. Tpeak	(min)=	10.00	20.00	
Unit Hyd. peak	(cms)=	.13	.06	
				TOTALS
PEAK FLOW	(cms)=	4.85	3.50	7.546 (iii)
TIME TO PEAK	(hrs)=	2.83	3.00	2.92
RUNOFF VOLUME	(mm)=	84.10	45.35	58.91
TOTAL RAINFALL	(mm)=	85.60	85.60	85.60
RUNOFF COEFFICIENT	=	.98	.53	.69

Scenario1.out

- (i) CN PROCEDURE SELECTED FOR PERVIOUS LOSSES:
CN* = 74.0 Ia = Dep. Storage (Above)
- (ii) TIME STEP (DT) SHOULD BE SMALLER OR EQUAL
THAN THE STORAGE COEFFICIENT.
- (iii) PEAK FLOW DOES NOT INCLUDE BASEFLOW IF ANY.

CALIB
STANDHYD (0011)
ID= 1 DT= 5.0 min

Area (ha)= 48.77
Total Imp(%)= 48.00 Dir. Conn.(%)= 34.00

Catchment
CA_CE_S2

	IMPERVIOUS	PERVIOUS (i)	
Surface Area (ha)=	23.41	25.36	
Dep. Storage (mm)=	1.50	3.80	
Average Slope (%)=	.40	.40	
Length (m)=	570.20	35.00	
Mannings n =	.013	.250	
Max. Eff. Inten. (mm/hr)=	134.47	122.24	
over (min)	10.00	20.00	
Storage Coeff. (min)=	8.49 (ii)	18.23 (ii)	
Unit Hyd. Tpeak (min)=	10.00	20.00	
Unit Hyd. peak (cms)=	.12	.06	
PEAK FLOW (cms)=	4.98	4.27	*TOTALS* 8.405 (iii)
TIME TO PEAK (hrs)=	2.83	3.00	2.92
RUNOFF VOLUME (mm)=	84.10	49.89	61.52
TOTAL RAINFALL (mm)=	85.60	85.60	85.60
RUNOFF COEFFICIENT =	.98	.58	.72

- (i) CN PROCEDURE SELECTED FOR PERVIOUS LOSSES:
CN* = 78.7 Ia = Dep. Storage (Above)
- (ii) TIME STEP (DT) SHOULD BE SMALLER OR EQUAL
THAN THE STORAGE COEFFICIENT.
- (iii) PEAK FLOW DOES NOT INCLUDE BASEFLOW IF ANY.

CALIB
STANDHYD (0012)
ID= 1 DT= 5.0 min

Area (ha)= 46.73
Total Imp(%)= 50.00 Dir. Conn.(%)= 35.00

Catchment
CA_CE_S3

	IMPERVIOUS	PERVIOUS (i)	
Surface Area (ha)=	23.36	23.36	
Dep. Storage (mm)=	1.50	3.50	
Average Slope (%)=	.40	.40	
Length (m)=	558.20	35.00	
Mannings n =	.013	.250	
Max. Eff. Inten. (mm/hr)=	134.47	123.09	
over (min)	10.00	20.00	
Storage Coeff. (min)=	8.38 (ii)	18.10 (ii)	
Unit Hyd. Tpeak (min)=	10.00	20.00	
Unit Hyd. peak (cms)=	.12	.06	
PEAK FLOW (cms)=	4.93	3.97	*TOTALS* 8.077 (iii)
TIME TO PEAK (hrs)=	2.83	3.00	2.92
RUNOFF VOLUME (mm)=	84.10	49.11	61.35
TOTAL RAINFALL (mm)=	85.60	85.60	85.60
RUNOFF COEFFICIENT =	.98	.57	.72

- (i) CN PROCEDURE SELECTED FOR PERVIOUS LOSSES:
CN* = 77.4 Ia = Dep. Storage (Above)
- (ii) TIME STEP (DT) SHOULD BE SMALLER OR EQUAL
THAN THE STORAGE COEFFICIENT.
- (iii) PEAK FLOW DOES NOT INCLUDE BASEFLOW IF ANY.

Scenari o1. out

CALIB
STANDHYD (0013)
ID= 1 DT= 5.0 min

Area (ha)= 15.91
Total Imp(%)= 50.00 Dir. Conn.(%)= 35.00

Catchment
CA_6T_C1

	IMPERVIOUS	PERVIOUS (i)	
Surface Area (ha)=	7.95	7.95	
Dep. Storage (mm)=	1.50	3.50	
Average Slope (%)=	.40	.40	
Length (m)=	325.70	35.00	
Mannings n =	.013	.250	
Max. Eff. Inten. (mm/hr)=	134.47	98.14	
over (min)	5.00	20.00	
Storage Coeff. (min)=	6.07 (ii)	16.70 (ii)	
Unit Hyd. Tpeak (min)=	5.00	20.00	
Unit Hyd. peak (cms)=	.19	.06	
			TOTALS
PEAK FLOW (cms)=	1.93	1.29	2.865 (iii)
TIME TO PEAK (hrs)=	2.83	3.00	2.83
RUNOFF VOLUME (mm)=	84.10	45.35	58.91
TOTAL RAINFALL (mm)=	85.60	85.60	85.60
RUNOFF COEFFICIENT =	.98	.53	.69

- (i) CN PROCEDURE SELECTED FOR PERVIOUS LOSSES:
CN* = 74.0 Ia = Dep. Storage (Above)
- (ii) TIME STEP (DT) SHOULD BE SMALLER OR EQUAL THAN THE STORAGE COEFFICIENT.
- (iii) PEAK FLOW DOES NOT INCLUDE BASEFLOW IF ANY.

CALIB
STANDHYD (0014)
ID= 1 DT= 5.0 min

Area (ha)= 15.63
Total Imp(%)= 48.00 Dir. Conn.(%)= 34.00

Catchment
CA_6T_C2

	IMPERVIOUS	PERVIOUS (i)	
Surface Area (ha)=	7.50	8.13	
Dep. Storage (mm)=	1.50	3.70	
Average Slope (%)=	.40	.40	
Length (m)=	322.80	35.00	
Mannings n =	.013	.250	
Max. Eff. Inten. (mm/hr)=	134.47	94.99	
over (min)	5.00	20.00	
Storage Coeff. (min)=	6.03 (ii)	16.81 (ii)	
Unit Hyd. Tpeak (min)=	5.00	20.00	
Unit Hyd. peak (cms)=	.19	.06	
			TOTALS
PEAK FLOW (cms)=	1.84	1.27	2.761 (iii)
TIME TO PEAK (hrs)=	2.83	3.00	2.83
RUNOFF VOLUME (mm)=	84.10	44.90	58.22
TOTAL RAINFALL (mm)=	85.60	85.60	85.60
RUNOFF COEFFICIENT =	.98	.52	.68

- (i) CN PROCEDURE SELECTED FOR PERVIOUS LOSSES:
CN* = 74.2 Ia = Dep. Storage (Above)
- (ii) TIME STEP (DT) SHOULD BE SMALLER OR EQUAL THAN THE STORAGE COEFFICIENT.
- (iii) PEAK FLOW DOES NOT INCLUDE BASEFLOW IF ANY.

CALIB
STANDHYD (0015)
ID= 1 DT= 5.0 min

Area (ha)= 16.34
Total Imp(%)= 50.00 Dir. Conn.(%)= 35.00

Catchment
CA_6T_C3

	IMPERVIOUS	PERVIOUS (i)
Surface Area (ha)=	8.17	8.17

Scenario1. out

Dep. Storage (mm)=	1.50	3.50	
Average Slope (%)=	.40	.40	
Length (m)=	330.10	35.00	
Mannings n =	.013	.250	
Max. Eff. Inten. (mm/hr)=	134.47	123.09	
over (min)	5.00	20.00	
Storage Coeff. (min)=	6.12 (ii)	15.83 (ii)	
Unit Hyd. Tpeak (min)=	5.00	20.00	
Unit Hyd. peak (cms)=	.19	.07	
			TOTALS
PEAK FLOW (cms)=	1.98	1.47	3.068 (iii)
TIME TO PEAK (hrs)=	2.83	3.00	2.83
RUNOFF VOLUME (mm)=	84.10	49.11	61.35
TOTAL RAINFALL (mm)=	85.60	85.60	85.60
RUNOFF COEFFICIENT =	.98	.57	.72

- (i) CN PROCEDURE SELECTED FOR PERVIOUS LOSSES:
CN* = 77.4 Ia = Dep. Storage (Above)
- (ii) TIME STEP (DT) SHOULD BE SMALLER OR EQUAL THAN THE STORAGE COEFFICIENT.
- (iii) PEAK FLOW DOES NOT INCLUDE BASEFLOW IF ANY.

CALIB STANDHYD (0016) ID= 1 DT= 5.0 min	Area (ha)= 10.34 Total Imp(%)= 50.00 Dir. Conn.(%)= 35.00	Catchment CA_6T_C4
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	IMPERVIOUS	PERVIOUS (i)	
Surface Area (ha)=	5.17	5.17	
Dep. Storage (mm)=	1.50	3.50	
Average Slope (%)=	.40	.40	
Length (m)=	262.60	35.00	
Mannings n =	.013	.250	
Max. Eff. Inten. (mm/hr)=	134.47	119.63	
over (min)	5.00	20.00	
Storage Coeff. (min)=	5.33 (ii)	15.16 (ii)	
Unit Hyd. Tpeak (min)=	5.00	20.00	
Unit Hyd. peak (cms)=	.21	.07	
			TOTALS
PEAK FLOW (cms)=	1.28	.92	1.956 (iii)
TIME TO PEAK (hrs)=	2.83	3.00	2.83
RUNOFF VOLUME (mm)=	84.10	47.64	60.40
TOTAL RAINFALL (mm)=	85.60	85.60	85.60
RUNOFF COEFFICIENT =	.98	.56	.71

- (i) CN PROCEDURE SELECTED FOR PERVIOUS LOSSES:
CN* = 76.1 Ia = Dep. Storage (Above)
- (ii) TIME STEP (DT) SHOULD BE SMALLER OR EQUAL THAN THE STORAGE COEFFICIENT.
- (iii) PEAK FLOW DOES NOT INCLUDE BASEFLOW IF ANY.

CALIB STANDHYD (0017) ID= 1 DT= 5.0 min	Area (ha)= 37.20 Total Imp(%)= 50.00 Dir. Conn.(%)= 35.00	Catchment CA_6T_C5
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	IMPERVIOUS	PERVIOUS (i)	
Surface Area (ha)=	18.60	18.60	
Dep. Storage (mm)=	1.50	4.10	
Average Slope (%)=	.40	.40	
Length (m)=	498.00	35.00	
Mannings n =	.013	.250	
Max. Eff. Inten. (mm/hr)=	134.47	118.10	
over (min)	10.00	20.00	

Scenario1. out

Storage Coeff. (min)=	7.83 (ii)	17.71 (ii)	
Unit Hyd. Tpeak (min)=	10.00	20.00	
Unit Hyd. peak (cms)=	.13	.06	
			TOTALS
PEAK FLOW (cms)=	4.00	3.04	6.341 (iii)
TIME TO PEAK (hrs)=	2.83	3.00	2.92
RUNOFF VOLUME (mm)=	84.10	46.82	59.87
TOTAL RAINFALL (mm)=	85.60	85.60	85.60
RUNOFF COEFFICIENT =	.98	.55	.70

- (i) CN PROCEDURE SELECTED FOR PERVIOUS LOSSES:
CN* = 75.7 Ia = Dep. Storage (Above)
- (ii) TIME STEP (DT) SHOULD BE SMALLER OR EQUAL
THAN THE STORAGE COEFFICIENT.
- (iii) PEAK FLOW DOES NOT INCLUDE BASEFLOW IF ANY.

CALIB STANDHYD (0019) ID= 1 DT= 5.0 min	Area (ha)= 188.45 Total Imp(%)= 50.00	Dir. Conn. (%)= 35.00	Catchment CA_6B
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	IMPERVIOUS	PERVIOUS (i)	
Surface Area (ha)=	94.22	94.22	
Dep. Storage (mm)=	1.50	3.50	
Average Slope (%)=	.40	.40	
Length (m)=	1120.90	35.00	
Mannings n =	.013	.250	
Max. Eff. Inten. (mm/hr)=	120.68	130.14	
over (min)=	15.00	25.00	
Storage Coeff. (min)=	13.30 (ii)	22.80 (ii)	
Unit Hyd. Tpeak (min)=	15.00	25.00	
Unit Hyd. peak (cms)=	.08	.05	
			TOTALS
PEAK FLOW (cms)=	16.24	14.77	28.677 (iii)
TIME TO PEAK (hrs)=	2.92	3.08	3.00
RUNOFF VOLUME (mm)=	84.10	52.17	63.34
TOTAL RAINFALL (mm)=	85.60	85.60	85.60
RUNOFF COEFFICIENT =	.98	.61	.74

- (i) CN PROCEDURE SELECTED FOR PERVIOUS LOSSES:
CN* = 80.0 Ia = Dep. Storage (Above)
- (ii) TIME STEP (DT) SHOULD BE SMALLER OR EQUAL
THAN THE STORAGE COEFFICIENT.
- (iii) PEAK FLOW DOES NOT INCLUDE BASEFLOW IF ANY.

 FINISH
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 =====

Appendix B

Sanitary Servicing Strategy



MEMO

TO: File
FROM: Kyle Edmunds, P. Eng.
DATE: January 24, 2017
SUBJECT: Howard Bouffard Planning Districts – Class Environmental Assessment Addendum –
Sanitary Servicing Strategy
OUR FILE: 16-3470

1. Introduction

Dillon Consulting Limited (Dillon) was retained by major land owners to complete an Addendum of the existing Howard Bouffard Planning Districts Environmental Assessment (EA). In general the Addendum was prepared to promote development within the Planning Districts, by providing a servicing solution that is more constructible and cost effective. This memo was prepared to summarize the approach and findings of the Addendum's sanitary servicing strategy.

The existing EA for the Howard Bouffard Planning Districts was completed in 2002 where property servicing information is presented in the Bouffard and Howard Planning Districts Master Servicing Study (MSS) (HGS 2002). A more detailed Functional Design Study (FDS) was completed as part of the Howard Bouffard Class EA (Dillon, 2005).

Included within Appendix A are the recommended sanitary solutions from the FDS, refer to Figure 3.1 and 3.3.

2. Process Followed for Analysis

The sanitary analysis used in the development of this Addendum follows the same guidelines as the FDS and is based on as-built information of the existing infrastructure constructed as part of the Laurier Parkway Sanitary Truck Sewer project (2011, Dillon). In addition, a separate review was completed to assess the availability of additional sewage capacity in the Normandy trunk sewer in order to confirm service boundaries. The additional sewage capacity review was based on assessing the lands which had been removed due to the construction of the Herb Grey Parkway and on re-calculating the population within the Normandy sewer drainage boundary based on as-developed conditions, proposed land uses and population densities for un-developed lands. Refer to Figure B.1.

The land use for each property was reviewed as part of the Addendum. The new land use for each property and the removal of the allocated areas for SWM facilities have been reflected in the total population calculations. Population densities and average daily flows used were as outlined in the design criteria of sanitary design in the FDS.

The expected sewage flows were calculated based on the revised drainage areas and assessed against the actual sewer capacities determined from the as-built information for the Laurier trunk sewer for the drainage boundaries shown in the FDS.

Multiple iterations of drainage boundary adjustments were evaluated to determine if any areas could be reallocated to alternative trunk sewers.

3. Changes from Existing Studies

The preferred solution identified in the EA Addendum is presented in Figure B.2 in Appendix B and includes revisions to the sanitary drainage boundaries and the location and number of pump stations.

3.1 Sanitary Drainage Boundaries

The following revisions were made to the sanitary drainage boundaries: (Refer to Appendix B, Figure B.1)

- Re-allocation of Phase 3 of the Forest Trails Subdivision, from the Reaume trunk to the Normandy trunk (previously approved through an EA Addendum completed by the Developer)(Area A1 in Figure B.1);
- Re-allocation of the lands bounded by the West Branch of the Cahill, the Lepain Drain, Forest Trails Subdivision and Disputed Road from the Reaume trunk to the Normandy trunk (Area A2 on Figure B.1);
- Re-allocation of the lands south of the Lepain Drain bounded by the West Branch of the Cahill Drain and Disputed Road, from the Reaume trunk to the Laurier trunk (Area A3 on Figure B.1);
- Identifying lands and their associated populations within the existing drainage boundary for the Normandy trunk which have now been eliminated due to the construction of the Herb Grey Parkway.

3.2 Sanitary Pump Stations

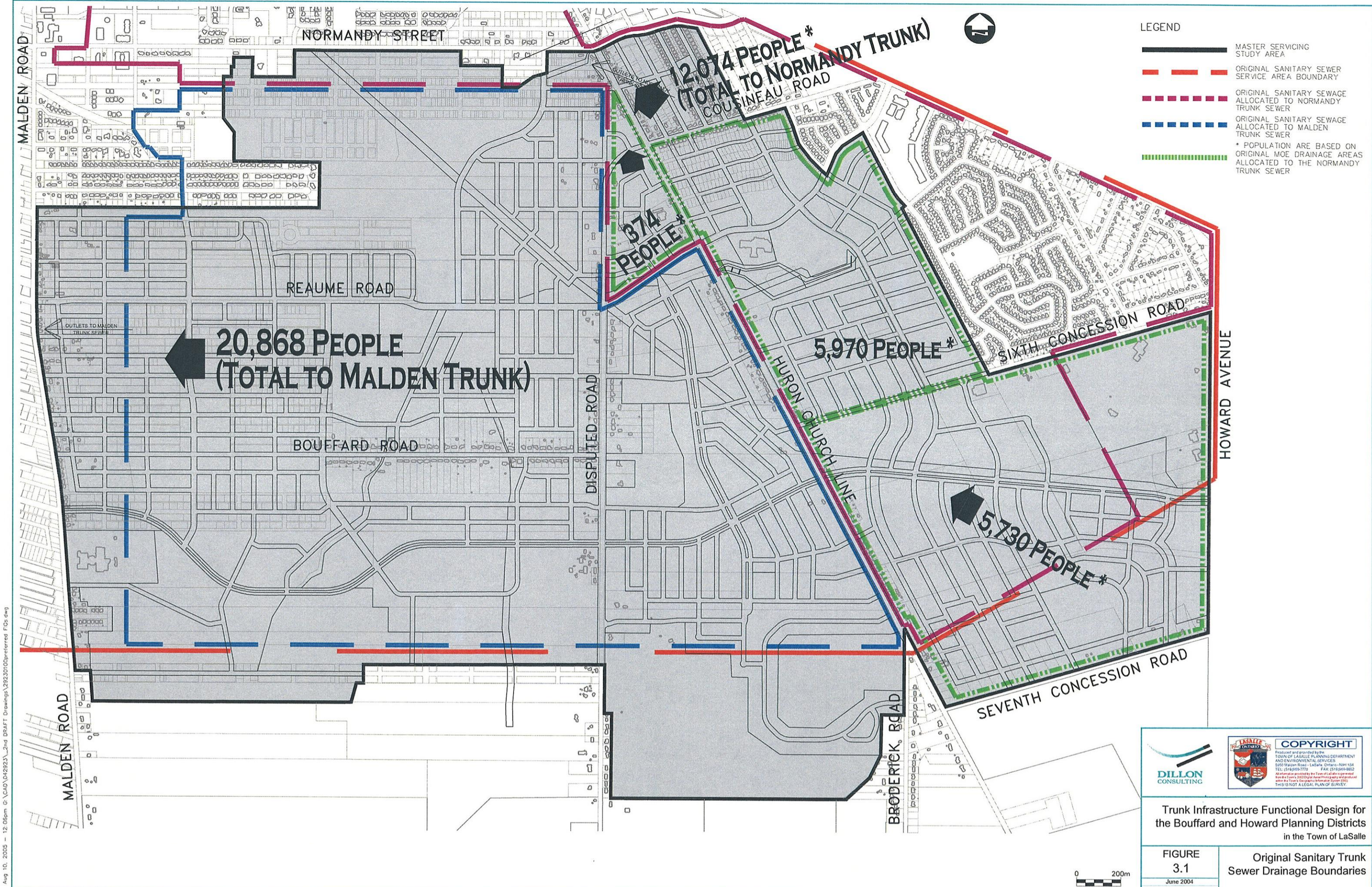
The following revisions were made to the sanitary pump stations:

- Elimination of two pump stations (PS) from the Laurier trunk, one located east of Disputed Road and one at Malden and Bouffard, refer to Figure B.2. Based on the as-built information for the Laurier Sanitary Trunk Sewer (2011, Dillon), the depth of the sewer at the Disputed Road/Laurier Parkway intersection was found to be sufficient for gravity drainage for the upstream drainage area;
- Relocation of one PS from the Reaume trunk to the Normandy trunk within the Forest Trails Subdivision. This PS will service Forest Trails Phase 3 and the properties (Area A1, A2 and A3) added to the Normandy trunk sewer identified in Figure B.1.

4. Final Recommendations

Based upon the above information, the preferred sanitary servicing solution is presented in Figure B.2 in Appendix B. No modifications were made to the population densities or average daily sewage flows as outlined in the design criteria of the FDS. The residential population densities for the re-allocated lands (Areas A2 and A3 on Figure B.1) shall remain unchanged at 48.7 pop/ha.

APPENXIDIX A



Aug 10, 2005 - 12:05pm C:\CAD\042923\2nd DRAFT Drawings\2923\0100\refereed FCs.dwg

- LEGEND**
- MASTER SERVICING STUDY AREA
 - ORIGINAL SANITARY SEWER SERVICE AREA BOUNDARY
 - ORIGINAL SANITARY SEWAGE ALLOCATED TO NORMANDY TRUNK SEWER
 - ORIGINAL SANITARY SEWAGE ALLOCATED TO MALDEN TRUNK SEWER
 - * POPULATION ARE BASED ON ORIGINAL MOE DRAINAGE AREAS ALLOCATED TO THE NORMANDY TRUNK SEWER

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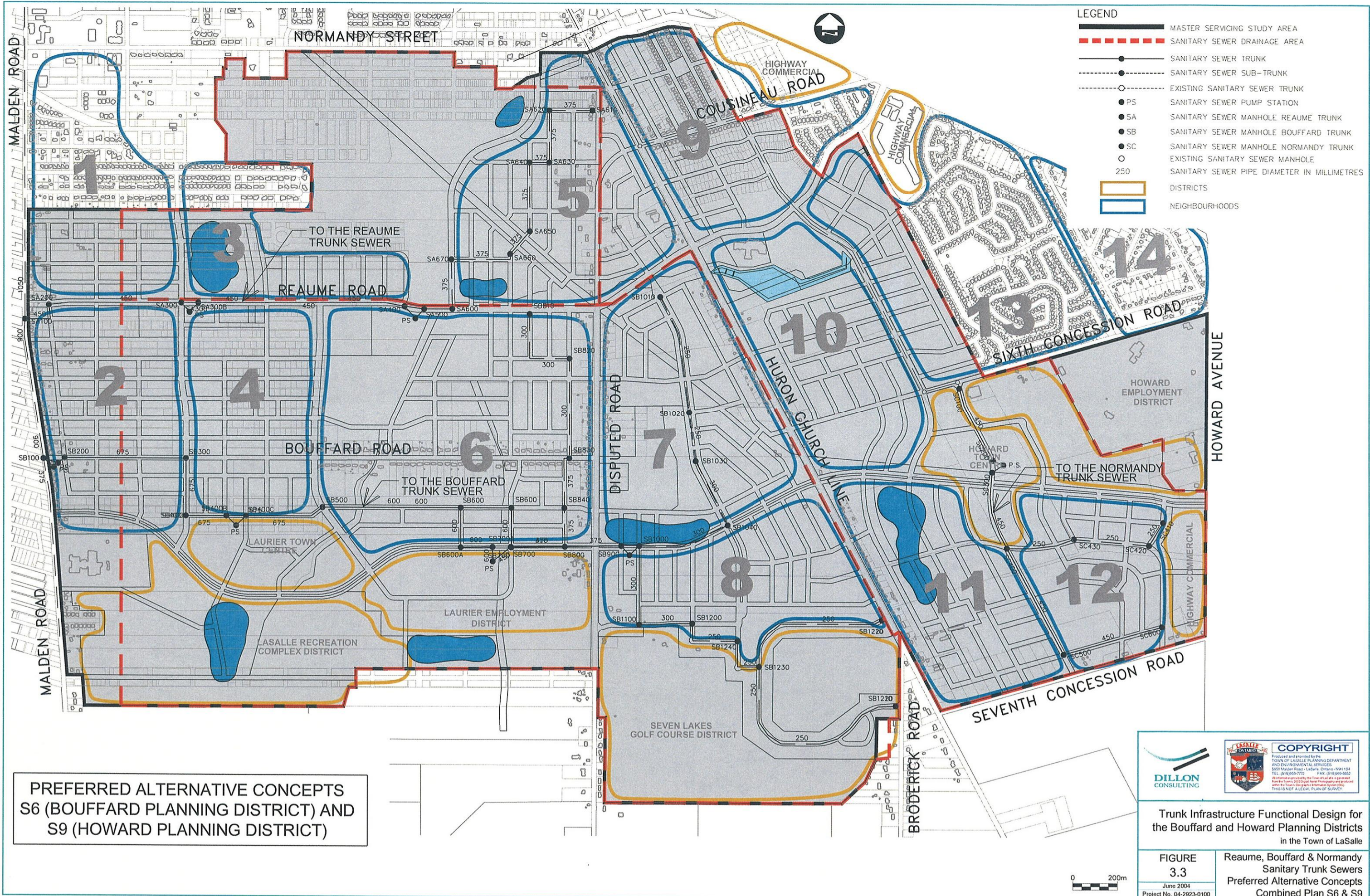
Produced and provided by the TOWN OF LASALLE PLANNING DEPARTMENT AND ENVIRONMENTAL SERVICES, 5910 Malden Road - LaSalle, Ontario N0A 1S4. TEL: (519) 686-7770 FAX: (519) 686-8822. All information provided by the Town of LaSalle is provided under the Town of LaSalle Open Access Policy and produced under the Town's Open Access Information System (OIS). THIS IS NOT A LEGAL PLAN OF SURVEY.

Trunk Infrastructure Functional Design for the Bouffard and Howard Planning Districts in the Town of LaSalle

<p>FIGURE 3.1</p> <p>June 2004</p> <p>Project No. 04-2923-0100</p>	<p>Original Sanitary Trunk Sewer Drainage Boundaries</p>
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PREFERRED ALTERNATIVE CONCEPTS
S6 (BOUFFARD PLANNING DISTRICT) AND
S9 (HOWARD PLANNING DISTRICT)

DILLON CONSULTING

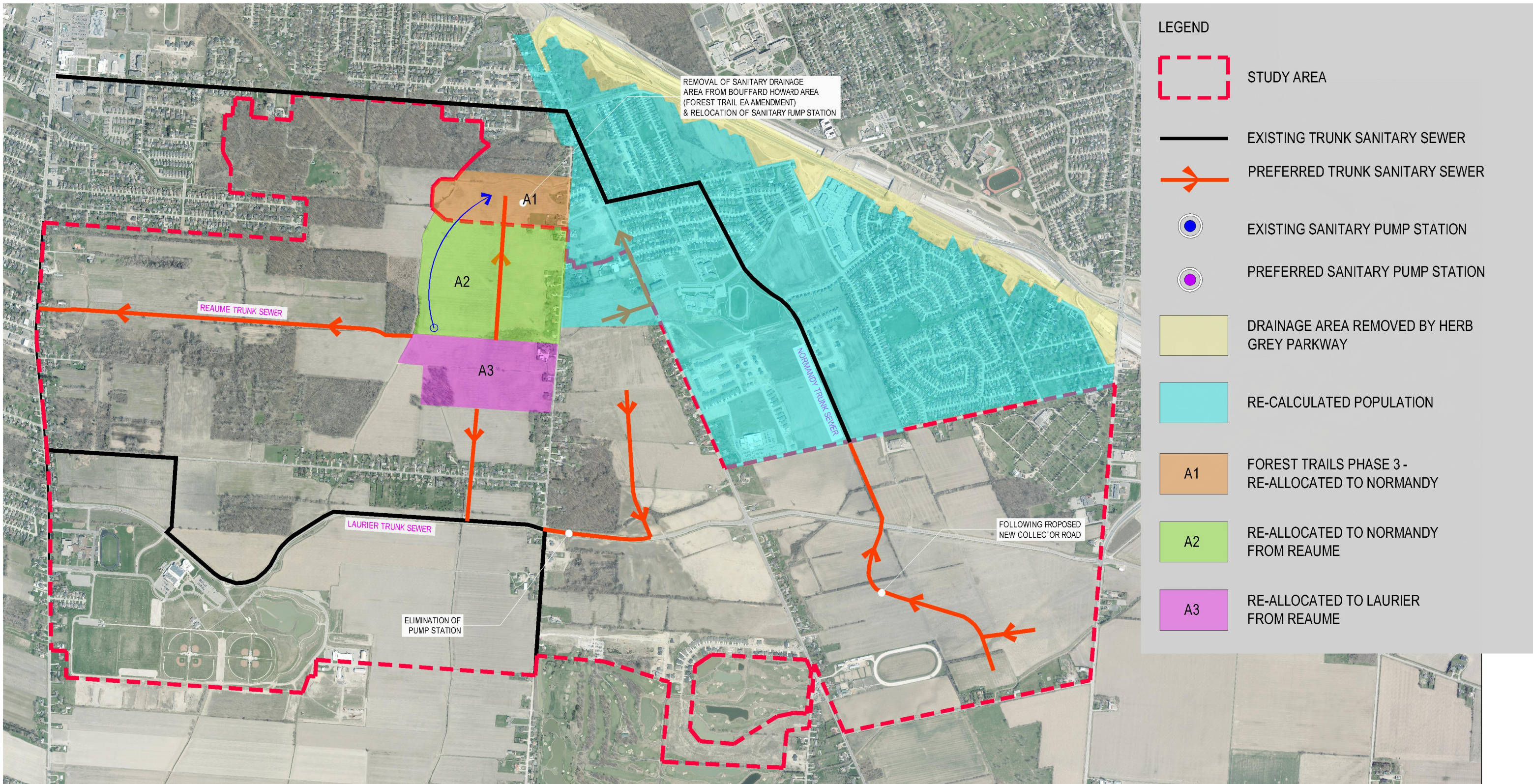
COPYRIGHT
Produced and provided by the
TOWN OF LASALLE PLANNING DEPARTMENT
AND ENVIRONMENTAL SERVICES
5950 Malden Road - LaSalle, Ontario - N0H 1S4
TEL: (519) 608-7722 FAX: (519) 608-8842
All information provided by the Town of LaSalle is generated
from the Town's 2002 Geographic Information System (GIS)
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Trunk Infrastructure Functional Design for
the Bouffard and Howard Planning Districts
in the Town of LaSalle

FIGURE 3.3
June 2004
Project No. 04-2923-0100

Reaume, Bouffard & Normandy
Sanitary Trunk Sewers
Preferred Alternative Concepts
Combined Plan S6 & S9





LEGEND

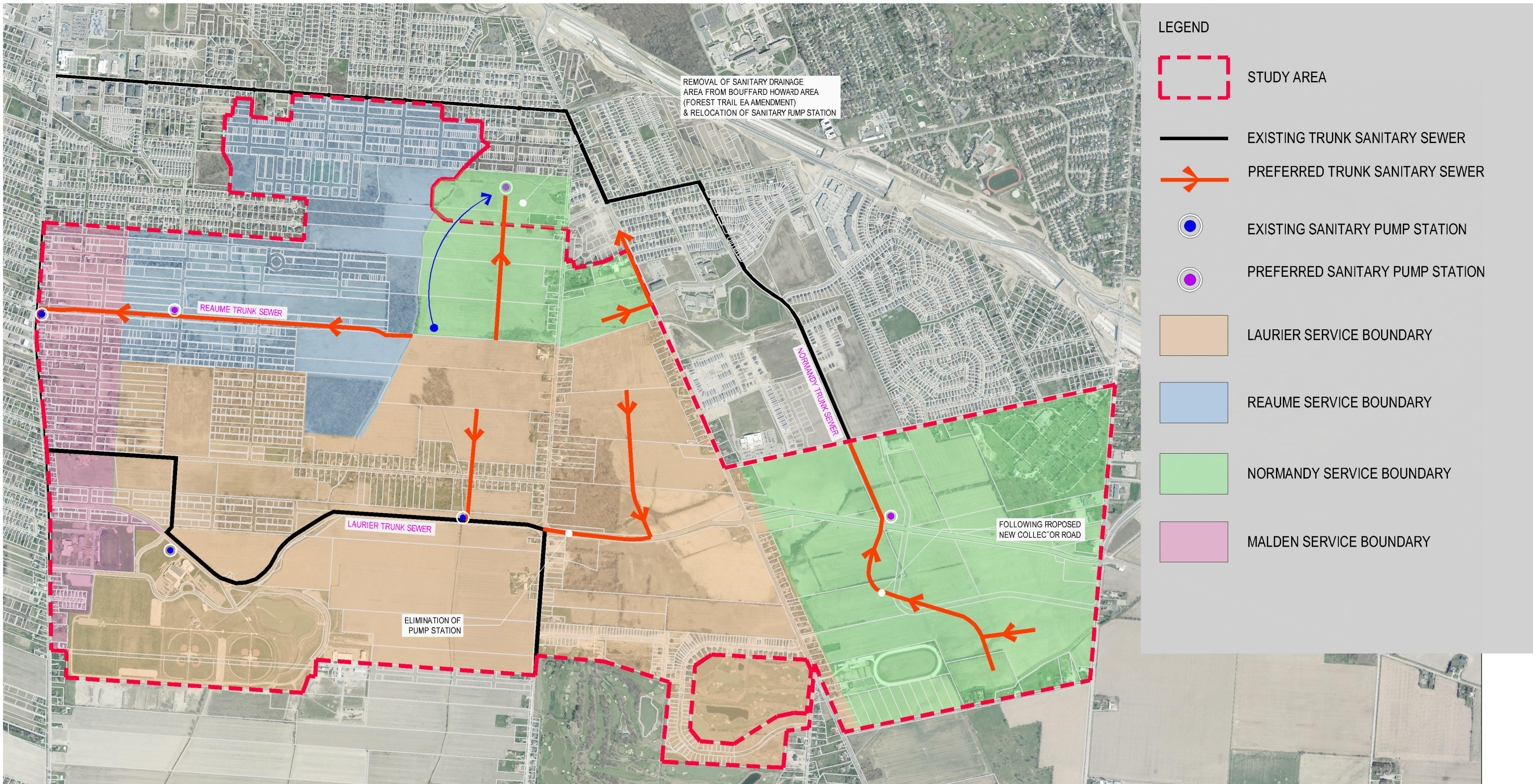
- STUDY AREA
- EXISTING TRUNK SANITARY SEWER
- ➔ PREFERRED TRUNK SANITARY SEWER
- EXISTING SANITARY PUMP STATION
- PREFERRED SANITARY PUMP STATION
- DRAINAGE AREA REMOVED BY HERB GREY PARKWAY
- RE-CALCULATED POPULATION
- A1 FOREST TRAILS PHASE 3 - RE-ALLOCATED TO NORMANDY
- A2 RE-ALLOCATED TO NORMANDY FROM REAUME
- A3 RE-ALLOCATED TO LAURIER FROM REAUME

HOWARD BOUFFARD PLANNING DISTRICTS
 CLASS EA ADDENDUM

FIGURE B.1
 Re-allocated Lands



APPENXIDIX B



LEGEND

- STUDY AREA
- EXISTING TRUNK SANITARY SEWER
- ➔ PREFERRED TRUNK SANITARY SEWER
- EXISTING SANITARY PUMP STATION
- PREFERRED SANITARY PUMP STATION
- LAURIER SERVICE BOUNDARY
- REAUME SERVICE BOUNDARY
- NORMANDY SERVICE BOUNDARY
- MALDEN SERVICE BOUNDARY

HOWARD BOUFFARD PLANNING DISTRICTS
CLASS EA ADDENDUM

FIGURE B.2
Preferred Solution: Sanitary



Appendix C

Public Information Centre #1

- Notice of Commencement and PIC

- Mailing List

- Attendance Sheet

- Presentation Package

- Comments

Town of LaSalle: Bouffard and Howard Planning Area Class Environmental Assessment Addendum and Planning Act Approvals

Notice of Commencement and Public Information Centre

Dillon Consulting Limited has been retained to prepare plans to develop the Bouffard and Howard Planning Area, in the Town of LaSalle. The study area is shown below. The Town of LaSalle has studied the feasibility to developing this area for several years and has invested in infrastructure in the area, including constructing Laurier Parkway. At this time, several local landowners have retained Dillon Consulting Limited to work with the Town of LaSalle and with provincial and regional agencies, to review and update the existing Class EA and to obtain corresponding Planning Act approvals.

An addendum is being initiated to two previous Class Environmental Assessment (EA) studies:

- Bouffard and Howard Planning Districts Master Servicing Study (2002)
- Bouffard and Howard Planning Districts Functional Design Study (August 2005).

Both studies were completed following the requirements of the Municipal Class EA for Schedule B undertakings. The purpose of the EA Addendum is to review and update both reports and prepare one comprehensive plan for the study area. The EA Addendum will be completed following the Integrated Approach outlined in the Municipal Class EA (2000, as amended) and will include obtaining Planning Act approvals at the same time as the EA approval.

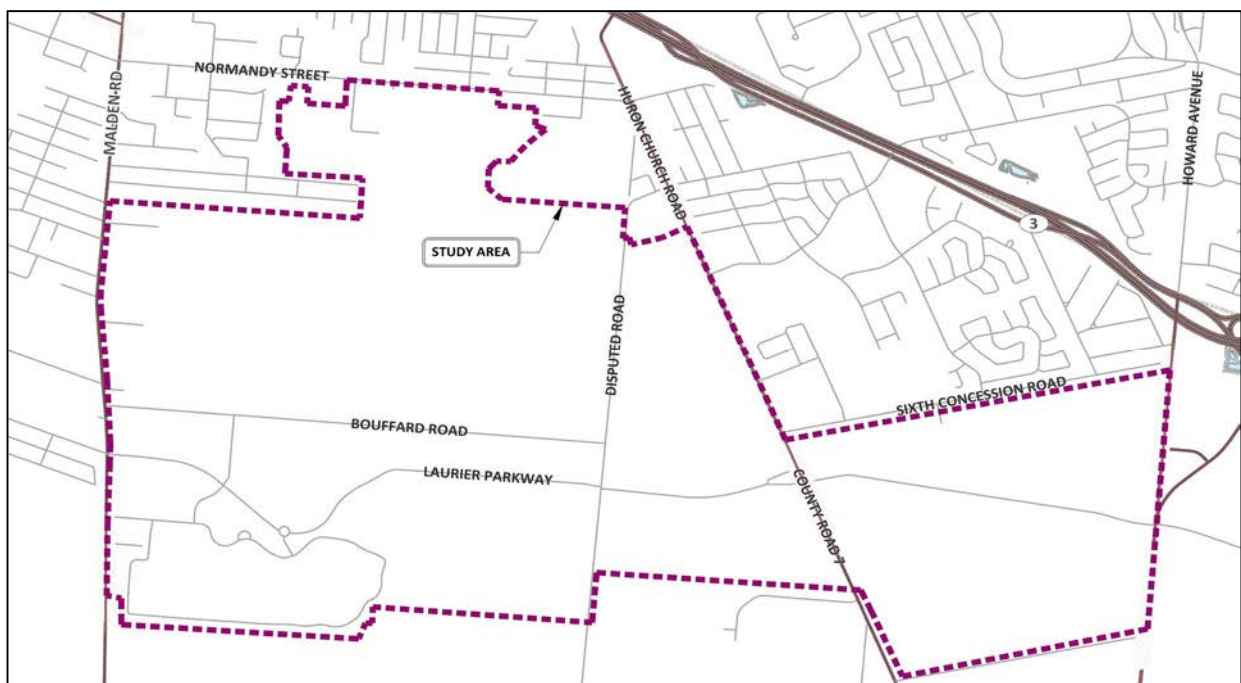
In general, the addendum will focus on:

Part 1

- Revisions to drainage area boundaries, including revision to the number and location of stormwater ponds shown in the 2005 study.
- Confirm the location and size of the trunk storm sewers, trunk sanitary sewers and locations of collector and arterial roads.
- Confirm the location and size of natural environment areas and corridors.

Part 2

- Approval for a number of proposed developments in the area, including Draft Plans of Subdivision, Official Plan and Zoning By-law amendments.



Public Information Centre

A public information centre will be held June 6, 2016 to introduce the study and receive initial feedback from local residents, landowners and agencies.

Notification of date, time, and location will be sent to the public before Public Information Centre #2 is held to deal with the Part 1 workplan.

Further Public Notice will be posted following the completion of Part 1 and will focus on the Planning Act Applications.

Public Comments Invited

At any time during this study, interested persons have an opportunity to provide comments, questions and concerns to the study team at the contact below.

Information collected for the study will be used in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*. With the exception of personal information, such as name, address and property location, all comments received throughout the study will become part of the public record and included in project documentation.

For further information or to provide comments or to be added to the mailing list, please contact:

Karl Tanner, MCIP RPP
Project Manager
Dillon Consulting Limited
3200 Deziel Drive Suite 608, Windsor, ON, N8W 5K8
Tel: 519.948.5000 ext. 3227
Email: ktanner@dillon.ca

Larry Silani, MCIP RPP
Director of Development & Strategic Initiatives
Town of LaSalle
5950 Malden Road, LaSalle, ON N9H 1S4
Tel: 519.969.7770 ext. 1288
Email: lsilani@town.lasalle.on.ca

Public Information Centre #1

Date:	June 6, 2016
Time:	4:00pm - 8:00pm
Location:	Vollmer Complex, 2121 Laurier Drive, LaSalle
Format:	Open house/drop-in format with staff available to answer questions

[REDACTED]
16 ISLAND PARK CRT
LEAMINGTON ON N8H 5C9

[REDACTED]
3199 DOUGALL AVE
WINDSOR ON N9E 1S5

[REDACTED]
C/O 2985 DOUGALL AVE
WINDSOR ON N9E 1S1

[REDACTED]
5160 O'NEIL DR
OLDCASTLE ON NOR 1L0

[REDACTED]
3495 VICTORIA BLVD
WINDSOR ON N9E 4J8

[REDACTED]
C/O 3199 DOUGALL AVE
WINDSOR ON N9E 1S5

[REDACTED]
[REDACTED]
468 LAPORTE AVE
WINDSOR ON N8S 3R2

[REDACTED]
[REDACTED]
2870 BOUFFARD RD
WINDSOR ON N9H 1W5

[REDACTED]
2625 BOUFFARD RD
WINDSOR ON N9H 1W3

[REDACTED]
C/O 276 RUGGABER DR
WINDSOR ON N8N 4N8

[REDACTED]
[REDACTED]
2735 BOUFFARD RD
WINDSOR ON N9H 1W3

[REDACTED]
[REDACTED]
6740 DISPUTED RD
WINDSOR ON N9H 1Y1

[REDACTED]
745 MASSIMO CRES
WINDSOR ON N9G 3C7

[REDACTED]
[REDACTED]
2760 BOUFFARD RD
WINDSOR ON N9H 1W2

[REDACTED]
[REDACTED]
2628 NORTHWAY AVE
WINDSOR ON N9E 4N9

[REDACTED]
1540 NORMANDY ST
WINDSOR ON N9J 1Y1

[REDACTED]
9156 TECUMSEH RD E
WINDSOR ON N8R 1A2

[REDACTED]
PO BOX 1467 STN A
5245 HOWARD AVE
WINDSOR ON N9A 6R5

[REDACTED]
1715 KAVANAGH DR
WINDSOR ON N9N 4R3

[REDACTED]
[REDACTED]
1120 ELFRIEDE DR
WINDSOR ON N8X 5A1

[REDACTED]
4214 STAGECOACH AVE
BOX 11
WINDSOR ON N9G 2W8

[REDACTED]
12482 LANOUE ST
WINDSOR ON N8N 4S3

[REDACTED]
[REDACTED]
675 CABANA RD E
WINDSOR ON N9G 1A6

[REDACTED]
1294 KAMLOOPS ST
WINDSOR ON N8W 5V2

[REDACTED]
1621 RANDOLPH AVE
WINDSOR ON N9B 2V7

[REDACTED]
[REDACTED]
2137 NORTH 1ST AVE
BARRY IL 62312

[REDACTED]
3807 MONTCALM ST
WINDSOR ON N9C 2B1

[REDACTED]
[REDACTED]
800 PARKSIDE AVE
PITTSBURGH PA 15228

[REDACTED]
3035 BOUFFARD RD
WINDSOR ON N9H 1W4

[REDACTED]
[REDACTED]
6560 DISPUTED RD
WINDSOR ON N9H 1X9

[REDACTED]
[REDACTED]
2665 BOUFFARD RD
WINDSOR ON N9H 1W3

[REDACTED]
7870 BERNICE CRT
ROHNERT PARK CA 94928

[REDACTED]
[REDACTED]
6435 DISPUTED RD
WINDSOR ON N9H 1X8

[REDACTED]
4689 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
[REDACTED]
60 EVERETT RD
COBOCONK ON K0M 1K0

[REDACTED]
796 MONMOUTH RD
WINDSOR ON N8Y 3L2

[REDACTED]
C/O RR 3 STN A
1650 SEVENTH CON RD
WINDSOR ON N9A 6Z6

[REDACTED]
[REDACTED]
[REDACTED]
2860 BOUFFARD RD
WINDSOR ON N9H 1W5

[REDACTED]
[REDACTED]
2955 BOUFFARD RD
WINDSOR ON N9H 1W4

[REDACTED]
1870 MEAGAN DR
WINDSOR ON N9J 3K7

[REDACTED]
PROPERTY TAX DEPARTMENT
PO BOX 86, STATION ST JACQUES
STATION K
MONTREAL QC H3C 1C5

[REDACTED]
113 MARLIN AVE
WINDSOR ON N8W 2B2

[REDACTED]
1311 HARVEST BEND RD
WINDSOR ON N9H 2B5

[REDACTED]
[REDACTED]
2496 DANDURAND BLVD
WINDSOR ON N9E 2C9

[REDACTED]
2635 BOUFFARD RD
WINDSOR ON N9H 1W3

[REDACTED]
4675 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
[REDACTED]
4755 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
406-3140 MEADOWBROOK LN
WINDSOR ON N8T 3M5

[REDACTED]
64 HAILEYBURY DR
SCARBOROUGH ON M1K 4X5

[REDACTED]
4585 HURON CHURCH LINE RD
WINDSOR ON N9H 1H3

[REDACTED]
[REDACTED]
1109 REGENCY CRES
SS 2
BELLE RIVER ON NOR 1A0

[REDACTED]
[REDACTED]
1939 CASTLETON AVE
WINDSOR ON N8P 1P6

[REDACTED]
[REDACTED]
4455 CHERRY HILL RD
WINDSOR ON N9G 2P5

[REDACTED]
6685 DISPUTED RD
WINDSOR ON N9H 1Y2

[REDACTED]
3040 BOUFFARD RD
WINDSOR ON N9H 1W5

[REDACTED]
[REDACTED]
479 CORBETT DR
WINDSOR ON N8N 4R6

[REDACTED]
119 SYLVANO CRES
WINDSOR ON N9K 1E4

[REDACTED]
[REDACTED]
935 ELSMERE AVE
WINDSOR ON N9A 2A8

[REDACTED]
33 TEXAS RD
AMHERSTBURG ON N9V 2R8

[REDACTED]
23243 HARVARD SHORE DR
CLINTON MI
USA 48035

[REDACTED]
[REDACTED]
[REDACTED]
1642 ST PATRICK'S AVE
WINDSOR ON N9B 3K6

[REDACTED]
[REDACTED]
4775 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
4569 LAKE GRANDE CRT
WINDSOR ON N9G 2R3

[REDACTED]
1347 HARVEST BEND RD
WINDSOR ON N9H 2B5

[REDACTED]
667 MCKAY AVE
WINDSOR ON N9B 1Z9

[REDACTED]
23121 COUNTRYVIEW FLAT
ROCK MI USA 48134

[REDACTED]
1830 MEAGAN DR
WINDSOR ON N9J 3K7

[REDACTED]
2540 MCKAY AVE
WINDSOR ON N9E 2P5

[REDACTED]
[REDACTED]
6660 DISPUTED RD
WINDSOR ON N9H 1Y1

[REDACTED]
[REDACTED]
515 KENWOOD ST
WINDSOR ON N9J 1R9

[REDACTED]
RR 3 STN A
1620 SIXTH CON RD
WINDSOR ON N9A 6Z6

[REDACTED]
[REDACTED]
[REDACTED]
6611 HUNT RD
W BLOOMFIELD MI 48324

[REDACTED]
[REDACTED]
2775 BOUFFARD RD
WINDSOR ON N9H 1W3

[REDACTED]
[REDACTED]
2915 BOUFFARD RD
WINDSOR ON N9H 1W4

[REDACTED]
12744 KIMBERLY DR
WINDSOR ON N8N 3N5

[REDACTED]
4795 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
226 FAIRWAY CRES
WINDSOR ON N8N 2Z1

[REDACTED]
2850 ACADEMY DR
WINDSOR ON N9E 2H1

[REDACTED]
[REDACTED]
4705 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
[REDACTED]
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RR 3
AMHERSTBURG ON N9V 3R3

[REDACTED]
RR 3 BOX 921
AMHERSTBURG ON N9V 3R3

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SUITE 1509
TORONTO ON M2J 0A6

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[REDACTED]
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WINDSOR ON N9H 1W2

[REDACTED]
1157 ELSMERE AVE
WINDSOR ON N9A 2B1

[REDACTED]
6215 DISPUTED RD
WINDSOR ON N9H 1X6

[REDACTED]
4591 TIMBER TRAIL
WINDSOR ON N9G 2W4

[REDACTED]
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KITCHENER ON N2P 0A5

[REDACTED]
1865 MEAGAN DR
WINDSOR ON N9J 3K7

[REDACTED]
[REDACTED]
116 REMO CRES
RR 4
BELLE RIVER ON NOR 1A0

[REDACTED]
535 NORTH TALBOT
WINDSOR ON N9J 1M8

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[REDACTED]
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WINDSOR ON N9B 3H3

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355 BARRY AVE
WINDSOR ON N8N 2G2

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[REDACTED]
138 WAKEFIELD DR
MACON GA 31210

[REDACTED]
[REDACTED]
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WINDSOR ON N9H 1W2

[REDACTED]
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WINDSOR ON N9J 2T7

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WINDSOR ON N9H 1H4

[REDACTED]
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WINDSOR ON N9H 1H6

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WINDSOR ON N9H 1Y1

[REDACTED]
[REDACTED]
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RR 3
WINDSOR ON N9A 6Z6

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[REDACTED]
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WINDSOR ON N9E 4C6

[REDACTED]
1237 ASHBERRY PL
WINDSOR ON N9H 2A9

[REDACTED]
[REDACTED]
424 HILGARD COVE
SANDFORD FL USA 32771

[REDACTED]
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WINDSOR ON N9H 1X8

[REDACTED]
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WINDSOR ON N9H 1H5

[REDACTED]
[REDACTED]
5030 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
[REDACTED]
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RR 1
SMITHVILLE ON L0R 2A0

[REDACTED]
[REDACTED]
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ASHTABULA OH 44004

[REDACTED]
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WINDSOR ON N9G 1P9

[REDACTED]
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WINDSOR ON N9B 2K6

[REDACTED]
206 GREENGABLE CRT
KITCHENER ON N2N 3A9

[REDACTED]
3463 OUELLETTE AVE
WINDSOR ON N9E 3M1

[REDACTED]
3442 HOWARD AVE
WINDSOR ON N9E 3N5

[REDACTED]
[REDACTED]
6855 DISPUTED RD
WINDSOR ON N9H 1Y3

[REDACTED]
4455 HURON CHURCH LINE RD
WINDSOR ON N9H 1H3

[REDACTED]
1770 ST CLAIR AVE
WINDSOR ON N9B 3T7

[REDACTED]
[REDACTED]
1915 OMIRA ST
WINDSOR ON N9H 1R4

[REDACTED]
1643 PARTINGTON AVE
WINDSOR ON N9B 2P9

[REDACTED]
881 GRAND MARAIS RD W
WINDSOR ON N9E 1C2

[REDACTED]
757 FRONT RD N
AMHERSTBURG ON N9V 2V6

[REDACTED]
1095 ST MARY'S BLVD
WINDSOR ON N8S 2V3

[REDACTED]
1767 PARTINGTON AVE
WINDSOR ON N9B 2R2

[REDACTED]
4545 HOWARD AVE
WINDSOR ON N9G 1P6

[REDACTED]
6690 DISPUTED RD
WINDSOR ON N9H 1Y1

[REDACTED]
1520 STUART BLVD
WINDSOR ON N9J 1Y6

[REDACTED]
2986 GRANDVIEW ST
WINDSOR ON N8T 2L7

[REDACTED]
7 ERIE GLEN CRES
LEAMINGTON ON N8H 5K2

[REDACTED]
7010 DISPUTED RD RR 3
WINDSOR ON N9A 6Z6

[REDACTED]
6650 DISPUTED RD
WINDSOR ON N9H 1Y1

[REDACTED]
8735 BRODERICK RD
RR 3
WINDSOR ON N9A 6Z6

[REDACTED]
4C-620 SOUTH CENTER
ROYAL OAK MI USA 48067

[REDACTED]
1907 LUXURY AVE
WINDSOR ON N8P 1T2

[REDACTED]
1294 JANETTE AVE
WINDSOR ON N8X 1Y6

[REDACTED]
6725 DISPUTED RD
WINDSOR ON N9H 1Y2

[REDACTED]
6835 DISPUTED RD
WINDSOR ON N9H 1Y3

[REDACTED]
8888 RIVERSIDE DR E
APT 608
WINDSOR ON N8S 1H2

[REDACTED]
2505 TIVOLI AVE
WINDSOR ON N8P 0A8

[REDACTED] D
1725 ST CLAIR AVE
WINDSOR ON N9B 3T7

[REDACTED]
360 FAIRVIEW AVE W SUITE 311
ESSEX ON N8M 1Y6

[REDACTED]
WINDSOR ON N8Y 4R4

[REDACTED]
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WINDSOR ON N9H 1H6

[REDACTED]
840 NORWICK RD
NEWMARKET ON L3X 1K8

[REDACTED]
503 OAKFIELD CRT
WINDSOR ON N8N 4B2

[REDACTED]
1506 CORTINA CRT
TECUMSEH ON N8N 5A7

[REDACTED]
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[REDACTED]
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12311 VERDANT CRT
WINDSOR ON N9K 1B4

[REDACTED]
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[REDACTED]
4815 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
131 N CARDINAL ST
WICHITA KS 67230

[REDACTED]
2645 BOUFFARD RD
WINDSOR ON N9H 1W3

[REDACTED]
4 - 130 CABELA WEST BLVD
DUNDEE MI USA 48131

[REDACTED]
5340 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
2199 BLACKACRE DR
OLDCASTLE ON N0R 1L1

[REDACTED]
1450 STUART BLVD
WINDSOR ON N9J 1Y6

[REDACTED]
2660 BOUFFARD RD
WINDSOR ON N9H 1W2

[REDACTED]
2448 SUGARLOAF LANE
FT LAUDERDALE FL 33144 USA

[REDACTED]
10465 PEPPERVINE ST
WINDSOR ON N8P 1Z2

F [REDACTED]
1577 MOY AVE
WINDSOR ON N8X 1J4

[REDACTED]
1658 MARENTETTE AVE
WINDSOR ON N8X 4E6

[REDACTED]
4735 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
1722 ST CLAIR AVE
WINDSOR ON N9B 3T7

[REDACTED]
4693 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
1880 MEAGAN DR
WINDSOR ON N9J 3K7

[REDACTED]
2535 BOUFFARD RD
WINDSOR ON N9H 1V9

[REDACTED]
3238 FOREST GLADE DR
WINDSOR ON N8R 1X3

[REDACTED]
5390 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
1430 PARADISE PL
BELLE RIVER ON N0R 1A0

[REDACTED]
3458 HEMLOCK RD
WINDSOR ON N8R 1Z9

[REDACTED]
3824 ROSEMOUNT AVE
WINDSOR ON N9C 2E5

[REDACTED]
1910 SEVENTH CON RD
RR 3 STN A
WINDSOR ON N9A 6Z6

[REDACTED]
3015 BOUFFARD RD
WINDSOR ON N9H 1W4

[REDACTED]
1815 HOLLINGER AVE
WINDSOR ON N9H 1V5

[REDACTED]
4025 HOWARD AVE
WINDSOR ON N9G 1N9

[REDACTED]
1835 MEAGAN DR
WINDSOR ON N9J 3K7

[REDACTED]
2525 BOUFFARD RD
WINDSOR ON N9H 1V9

[REDACTED]
2575 ROSE VILLE GARDEN DR
SUITE 210
WINDSOR ON N8T 3K1

[REDACTED]
1959 JEFFERSON BLVD
WINDSOR ON N8T 2W1

[REDACTED]
1 LIMERICK PL
ST JOHN'S NL A1B 2H2

[REDACTED]
1855 TODD LANE
WINDSOR ON N9H 1J6

[REDACTED]
C/O 3737 OUELLETTE AVE
WINDSOR ON N9E 3M6

[REDACTED]
[REDACTED]
8957 GRIFFIN WAY
BALTIMORE MD 21208

[REDACTED]
4715 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
1136 JILLIAN CRT
BELLE RIVER ON NOR 1A0

[REDACTED]
[REDACTED]
2970 BOUFFARD RD
WINDSOR ON N9H 1W5

[REDACTED]
[REDACTED]
451 PARK ST W
WINDSOR ON N9A 5V4

[REDACTED]
3757 CONNAUGHT AVE
WINDSOR ON N9C 2C2

[REDACTED]
[REDACTED]
2730 BOUFFARD RD
WINDSOR ON N9H 1W2

[REDACTED]
2740 BOUFFARD RD
WINDSOR ON N9H 1W2

[REDACTED]
2365 MARK AVE
WINDSOR ON N9E 3X8

[REDACTED]
1765 CALIFORNIA AVE
WINDSOR ON N9B 3T5

[REDACTED]
[REDACTED]
4990 HURON CHURCH LINE RD
WINDSOR ON N9H 1H4

[REDACTED]
[REDACTED]
932 BELLAGIO DR
WINDSOR ON N8P 1J7

[REDACTED]
1342 MOY AVE
WINDSOR ON N8X 4S6

[REDACTED]
RR 2
2196 GESTO RD
ESSEX ON N8M 2X6

[REDACTED]
2196 GESTO RD
RR 2 STN MAIN
ESSEX ON N8M 2X6

[REDACTED]
[REDACTED]
1825 MEAGAN DR
WINDSOR ON N9J 3K7

[REDACTED]
1561 COLLEGE AVE
WINDSOR ON N9B 1M2

[REDACTED]
[REDACTED]
PO BOX 665
MINNESOTA USA 56222

[REDACTED]
[REDACTED]
635 TECUMSEH RD W
WINDSOR ON N8X 1H4

[REDACTED]
2210 BONDY AVE
WINDSOR ON N9H 1J2

[REDACTED]
[REDACTED]
2565 GAIL RD
WINDSOR ON N8W 2Z7

[REDACTED]
6525 DISPUTED RD
WINDSOR ON N9H 1X8

[REDACTED]
[REDACTED]
3411 BAYONNE STREET
SAN DIEGO CA 92109

[REDACTED]
[REDACTED]
1324-6101 OHIO DR
PLANO TX USA 75024

[REDACTED]
[REDACTED]
477 GREEN VALLEY DR
WINDSOR ON N8N 4C2

[REDACTED]
2561 INDIGO AVE
WINDSOR ON N8P 0B3

[REDACTED]
2515 BOUFFARD RD
WINDSOR ON N9H 1V9

[REDACTED]
[REDACTED]
3199 DOUGALL AVE
WINDSOR ON N9E 1S5

[REDACTED]
[REDACTED]
6640 MALDEN RD
WINDSOR ON N9H 1T6

[REDACTED]
2 SELWOOD AVE
WINNIPEG MB R3R 2P8

[REDACTED]
[REDACTED]
4785 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
[REDACTED]
117 PEARL ST
SARNIA ON N7T 5G6

[REDACTED]
1575 LAUZON RD
WINDSOR ON N8S 3N4

[REDACTED]
2315 NORMANDY ST
WINDSOR ON N9H 1R1

[REDACTED]
2925 BOUFFARD RD
WINDSOR ON N9H 1W4

[REDACTED]
[REDACTED]
PO BOX 4300
MARKHAM ON L3R 5Z5

[REDACTED]
185 CLEGG RD
MARKHAM ON L6G 1B7

[REDACTED]
4645 8TH CON RD
RR 3
MAIDSTONE ON N0R 1K0

[REDACTED]
[REDACTED]
2640 BOUFFARD RD
WINDSOR ON N9H 1W2

[REDACTED]
2615 BOUFFARD RD
WINDSOR ON N9H 1W3

[REDACTED]
[REDACTED]
6570 DISPUTED RD
WINDSOR ON N9H 1X9

[REDACTED]
5430 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
[REDACTED]
5370 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
3300 ASKIN AVE
WINDSOR ON N9E 3J5

[REDACTED]
99 CLARK SIDE RD W
INGERSOLL ON N5C 3R5

[REDACTED]
[REDACTED]
7010 DISPUTED RD
RR 3
WINDSOR ON N9A 6Z6

[REDACTED]
1850 MEAGAN DR
WINDSOR ON N9J 3K7

[REDACTED]
[REDACTED]
1805 HOLLINGER AVE
WINDSOR ON N9H 1V5

[REDACTED]
9874 KENWOOD CRES
WINDSOR ON N8R 1H2

[REDACTED]
470 ELLIOTT ST E
WINDSOR ON N9A 3R9

[REDACTED]
[REDACTED]
3770 BASELINE RD
WINDSOR ON N9A 6J3

[REDACTED]
913 2ND CONC
AMHERSTBURG ON N9V 3R3

[REDACTED]
[REDACTED]
5360 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
940 WINDSOR AVE
WINDSOR ON N9A 1K2

[REDACTED]
[REDACTED]
1880 VALIANT ST
WINDSOR ON N9H 1Z2

[REDACTED]
3465 BLISS RD
WINDSOR ON N8W 3B5

[REDACTED]
[REDACTED]
2855 BOUFFARD RD
WINDSOR ON N9H 1W4

[REDACTED]
3123 CLEMENCEAU BLVD
WINDSOR ON N8T 2R6

[REDACTED]
2985 DOUGALL AVE
WINDSOR ON N9E 1S1

[REDACTED]
6355 DISPUTED RD
WINDSOR ON N9H 1X6

[REDACTED]
[REDACTED]
2490 BOUFFARD RD
WINDSOR ON N9H 1W1

[REDACTED]
442 BRUCE AVE LOWER
WINDSOR ON N9A 4W7

[REDACTED]
441 LAKEVIEW DR
SS 1
BELLE RIVER ON NOR 1A0

[REDACTED]
2810 BOUFFARD RD
WINDSOR ON N9H 1W5

[REDACTED]
3020 BOUFFARD RD
WINDSOR ON N9H 1W5

[REDACTED]
6590 DISPUTED RD
WINDSOR ON N9H 1X9

[REDACTED]
1840 HOLLINGER AVE
WINDSOR ON N9H 1V6

[REDACTED]
5950 MALDEN RD
WINDSOR ON N9H 1S4

[REDACTED]
1541 WESTCOTT RD
WINDSOR ON N8Y 4C5

[REDACTED]
3344 DEERBROOK DR
WINDSOR ON N8R 2C9

[REDACTED]
3490 HUNTINGTON AVE
WINDSOR ON N9E 3M8

[REDACTED]
6573 MARISSA LOOP #704
NAPLES FL USA 34108

[REDACTED]
2720 BOUFFARD RD
WINDSOR ON N9H 1W2

[REDACTED]
4745 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
9655 RIDGE RD
WINDSOR ON N8R 1G5

[REDACTED]
109-6335 EDGAR ST
WINDSOR ON N8S 2A7

[REDACTED]
208-6335 EDGAR ST
WINDSOR ON N8S 2A7

[REDACTED]
1192 FAIRVIEW BLVD
WINDSOR ON N8S 3E9

[REDACTED]
3050 BOUFFARD RD
WINDSOR ON N9H 1W5

[REDACTED]
11 WESTBRIER KNOLL
BRANTFORD ON N3R 5W3

[REDACTED]
4405 SEVENTH CON RD
WINDSOR ON N9A 6J3

[REDACTED]
6865 DISPUTED RD
WINDSOR ON N9H 1Y3

[REDACTED]
1065 MARENTETTE AVE
WINDSOR ON N9A 2A4

[REDACTED]
1241 JANETTE AVE
WINDSOR ON N8X 1Y7

[REDACTED]
951 ELSMERE AVE
WINDSOR ON N9A 2A8

[REDACTED]
2929 AUSTEN DR
WINDSOR ON N8T 1Z4

[REDACTED]
6563 DRUMMOND RD APT 204
NIAGARA FALLS ON L2G 4N6

[REDACTED]
35 DIRSTEIN ST S
BOX 228
ELMWOOD ON N0G 1S0

[REDACTED]
703 7TH AVE
HANOVER ON N4N 2K2

[REDACTED]
2414 VIA VITA ST
WINDSOR ON N9E 4C4

[REDACTED]
10870 MULBERRY RD
WINDSOR ON N8R 1H8

[REDACTED]
2081 MURRAY ST
TECUMSEH ON N8N 4R3

[REDACTED]
2830 BOUFFARD RD
WINDSOR ON N9H 1W5

[REDACTED]
6730 DISPUTED RD
WINDSOR ON N9H 1Y1

[REDACTED]
207 CAMPBELL AVE
WINDSOR ON N9B 2H1

[REDACTED]
1656 RANKIN AVE
WINDSOR ON N9B 2S8

[REDACTED]
5310 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
6540 DISPUTED RD
WINDSOR ON N9H 1X9

[REDACTED]
359 ELMGROVE DR
WINDSOR ON N8N 4H1

[REDACTED]
2945 BOUFFARD RD
WINDSOR ON N9H 1W4

[REDACTED]
2575 BOUFFARD RD
WINDSOR ON N9H 1V9

[REDACTED]
6845 DISPUTED RD
WINDSOR ON N9H 1Y3

[REDACTED]
521 LAKESIDE DR RR5
HARROW ON N0R 1G0

[REDACTED]
1765 BOUFFARD RD
WINDSOR ON N9J 1H1

[REDACTED]
2865 BOUFFARD RD
WINDSOR ON N9H 1W4

[REDACTED]
855 LAKESHORE RD 103 RR2
MAIDSTONE ON N0R 1K0

[REDACTED]
971 ST LOUIS AVE
WINDSOR ON N8S 2K6

[REDACTED]
450 MARTIN LANE
WINDSOR ON N9J 2M5

[REDACTED]
301-1 RIVERSIDE DR W
WINDSOR ON N9A 5K3

[REDACTED]
1324 KENWICK WAY
WINDSOR ON N9H 2H1

[REDACTED]
1046 OAK AVE
WINDSOR ON N9A 5G4

[REDACTED]
3617 INGLEWOOD AVE
WINDSOR ON N9E 4P3

[REDACTED]
6735 DISPUTED RD
WINDSOR ON N9H 1Y2

[REDACTED]
2800 W MEMORIAL DR LOT 113
MUNCIE IN USA 47302

[REDACTED]
RR 3
6550 HURON CHURCH LINE RD
WINDSOR ON N9A 6Z6

[REDACTED]
41337 MARKSWAY CRT
STERLING HEIGHTS MI
USA 48314

[REDACTED]
1335 MORTON DR
WINDSOR ON N9J 3S9

[REDACTED]
145 AMY CROFT DR
WINDSOR ON N9K 1E3

[REDACTED]
5815 BISHOP ST
WINDSOR ON N9H 2K4

[REDACTED] S
12217 ROXBURY CRES
WINDSOR ON N8N 4M8

[REDACTED]
383 ALOHA DR
WINDSOR ON N8N 1K1

[REDACTED]
1253 BELLEPERCHE PL
WINDSOR ON N8S 3C4

[REDACTED]
12195 ST THOMAS CRES
WINDSOR ON N8N 3P5

[REDACTED]
3045 BOUFFARD RD
WINDSOR ON N9H 1W4

[REDACTED]
946 LOUIS AVE
WINDSOR ON N9A 1X9

[REDACTED]
10810 EASTCOURT DR
WINDSOR ON N8R 1E8

[REDACTED]
1936 NORTHWAY AVE
WINDSOR ON N9B 0A3

[REDACTED]
2734 NORFOLK PINE CRES
WINDSOR ON N9E 4S5

[REDACTED]
2471 CHANDLER RD
WINDSOR ON N8W 4A7

[REDACTED]
3055 BOUFFARD RD
WINDSOR ON N9H 1W4

[REDACTED]
357 RIVER NORTH BLVD
MACON GEORGIA USA 31211

[REDACTED]
2000 WILKINSON ST
INNISSIL ON L9S 1X3

[REDACTED]
6360 DISPUTED RD
WINDSOR ON N9H 1X7

[REDACTED]
4645 HURON CHURCH LINE
WINDSOR ON N9H 1H5

[REDACTED]
1820 HOLLINGER AVE
WINDSOR ON N9H 1V6

[REDACTED]
2585 BOUFFARD RD
WINDSOR ON N9H 1V9

[REDACTED]
2180 SEVENTH CON RD
RR 3 LCD 3
WINDSOR ON N9A 6Z6

[REDACTED]
12825 RIVERSIDE DR EAST
WINDSOR ON N8N 1A9

[REDACTED]
6225 DISPUTED RD
WINDSOR ON N9H 1X6

[REDACTED]
2555 BOUFFARD RD
WINDSOR ON N9H 1V9

[REDACTED]
7915 MATCHETTE RD
WINDSOR ON N9J 2X6

[REDACTED]
3905 RIVERSIDE DR E
APT 202
WINDSOR ON N8T 1B3

[REDACTED]
209-420 MILL RD
ETOBICOKE ON M9C 1Z1

[REDACTED]
9630 ASGARD RD
WINDSOR ON N8R 1E2

[REDACTED]
3019 KENILWORTH DR
WINDSOR ON N9E 4M1

[REDACTED]
55 COMO PLACE
HAMILTON ON L9B 1Y3

[REDACTED]
739 CLOVER DALE BEACH
RR 1
HARROW ON N0R 1G0

[REDACTED]
3660 MATCHETTE RD
WINDSOR ON N9C 1Z9

[REDACTED]
561 DORSET PK
WINDSOR ON N8N 3N2

[REDACTED]
5400 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
920 MORAND ST
WINDSOR ON N9G 1J4

[REDACTED]
2520 BOUFFARD RD
WINDSOR ON N9H 1W1

[REDACTED]
2935 BOUFFARD RD
WINDSOR ON N9H 1W4

[REDACTED]
1132 GREENPARK BLVD
WINDSOR ON N8P 1J4

[REDACTED]
2468 NORTHWOOD ST
WINDSOR ON N9E 4N7

[REDACTED]
8708 LAKESHORE RD 309
RR 2
COMBER ON N0P 1J0

[REDACTED]
3608 ASKIN AVE
WINDSOR ON N9E 3J9

[REDACTED]
535 CHRISTINA CRES
WINDSOR ON N9G 2M4

[REDACTED]
11283 AMALFI DR
WINDSOR ON N8P 1J9

[REDACTED]
449 RUSSELL RD
WINDSOR ON N8N 3S6

[REDACTED]
56825 HOLIDAY PINE DR
MACOMB MI 48042 USA

[REDACTED]
31035 GREENHAVEN
ROSEVILLE MI 48066

[REDACTED]
2070 BUCKINGHAM DR
WINDSOR ON N8T 2B3

[REDACTED]
3585 HUNTINGTON AVE
WINDSOR ON N9E 3N1

[REDACTED]
1370 MOY AVE
WINDSOR ON N8X 4S6

[REDACTED]
3426 BRUCE AVE
WINDSOR ON N9E 4R8

[REDACTED]
6380 DISPUTED RD
WINDSOR ON N9H 1X7

[REDACTED]
2810 PICCADILLY AVE
MAIDSTONE ON N0R 1L0

[REDACTED]
1915 VALIANT ST
WINDSOR ON N9H 1R7

[REDACTED]
6306 MALDEN RD
WINDSOR ON N9H 1T2

[REDACTED]
37 BOSTWICK PLACE
DEPEW NY 14043

[REDACTED]
4385 ST CLAIR AVE
WINDSOR ON N9H 2N3

[REDACTED]
BEACH S1 037
833 VALENTINO
RR 2
BELLE RIVER ON N0R 1A0

[REDACTED]
3213 WOODLAND AVE
WINDSOR ON N9E 1Z6

[REDACTED]
6610 DISPUTED RD
WINDSOR ON N9H 1Y1

[REDACTED]
3461 BYNG RD
WINDSOR ON N8W 3H6

[REDACTED]
2560 BOUFFARD RD
WINDSOR ON N9H 1W1

[REDACTED]
3390 WALKER RD
UNIT 2
WINDSOR ON N8W 3S1

[REDACTED]
754 2ND CONCESSION
RR 3
AMHERSTBURG ON N9V 3R3

[REDACTED]
26 CLEOPHAS DR
WINDSOR ON N8N 4J9

[REDACTED]
C/O ROSA PAGLIA
2779 PARENT AVE
WINDSOR ON N8X 4K7

[REDACTED]
2791 PARENT AVE
WINDSOR ON N8X 4K7

[REDACTED]
2820 BOUFFARD RD
WINDSOR ON N9H 1W5

[REDACTED]
1955 LEDYARD AVE
WINDSOR ON N8W 5A9

[REDACTED]
1955 LEDYARD AVE
WINDSOR ON N8W 5A9

[REDACTED]
187 LAKESIDE DR
RR 5
HARROW ON N0R 1G0

[REDACTED]
560 LAKEVIEW AVE
WINDSOR ON N8P 1E2

[REDACTED]
1685 GRAND MARAIS RD E
WINDSOR ON N8W 1W3

[REDACTED]
359 CYANNA CRES
TECUMSEH ON N8N 5H1

[REDACTED]
4116 HURON CHURCH LINE RD
WINDSOR ON N9H 1G8

[REDACTED]
1932 LESPERANCE RD
WINDSOR ON N8N 2N3

[REDACTED]
1302-66 MOOREGATE CRES
KITCHENER ON N2M 5E6

[REDACTED]
2750 BROOKLYN AVE
WINDSOR ON N9H 2L2

[REDACTED]
3365 RIBERDY RD
WINDSOR ON N8W 3V3

[REDACTED]
3154 MULBERRY CRT
WINDSOR ON N8R 2A4

[REDACTED]
4765 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
2825 BOUFFARD RD
WINDSOR ON N9H 1W4

[REDACTED]
5966 KINGSLEY AVE
WINDSOR ON N9J 3P2

[REDACTED]
37199 CAMELLIA LANE
MOUNT CLEMENTS MICH 48043

[REDACTED]
2930 BOUFFARD RD
WINDSOR ON N9H 1W5

[REDACTED]
1564 GLADSTONE AVE
WINDSOR ON N8X 2R1

[REDACTED]
2785 MARK AVE
WINDSOR ON N9E 2W4

[REDACTED]
2745 BOUFFARD RD
WINDSOR ON N9H 1W3

[REDACTED] O
1369 HICKORY RD
WINDSOR ON N8Y 3S8

[REDACTED]
949 MARENTETTE AVE
WINDSOR ON N9A 2A2

[REDACTED]
2660 ASKIN AVE
WINDSOR ON N9E 3H7

[REDACTED]
1742 ST CLAIR AVE
WINDSOR ON N9B 3T7

[REDACTED]
1162 REAUME RD
WINDSOR ON N9J 1C1

[REDACTED]
156 HAMPTON CRES
WINDSOR ON N9E 4M5

[REDACTED]
169 HAROLD CULL DR
KINGSVILLE ON N9Y 1Z4

[REDACTED]
[REDACTED]
2470 PYRAMID ST
LIVERMORE CA USA 94550

[REDACTED]
1875 MEAGAN DR
WINDSOR ON N9J 3K7

[REDACTED]
1805 PALMER AVE
WINDSOR ON N9H 1R8

[REDACTED]
[REDACTED]
2971 STILLMEADOW RD
WINDSOR ON N8R 1N2

[REDACTED]
[REDACTED]
2971 STILLMEADOW RD
WINDSOR ON N8R 1N2

[REDACTED]
[REDACTED]
2971 STILLMEADOW RD
WINDSOR ON N8R 1N2

[REDACTED]
[REDACTED]
1860 MEAGAN DR
WINDSOR ON N9J 3K7

[REDACTED]
5350 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
[REDACTED]
5530 HURON CHURCH LINE RD
RR 3
WINDSOR ON N9A 6Z6

[REDACTED]
[REDACTED]
11283 AMALFI DR
WINDSOR ON N8P 1J9

[REDACTED]
[REDACTED]
6745 DISPUTED RD
WINDSOR ON N9H 1Y2

[REDACTED]
1162 FAIRVIEW BLVD
WINDSOR ON N8S 3E9

[REDACTED]
[REDACTED]
2725 BOUFFARD RD
WINDSOR ON N9H 1W3

[REDACTED]
31216 NARRAGANSETT LANE
BAY VILLAGE OH 44140

[REDACTED]
5555 HOWARD AVE
RR 1
OLDCASTLE ON N0R 1L0

[REDACTED]
[REDACTED]
1885 MEAGAN DR
WINDSOR ON N9J 3K7

[REDACTED]
2570 BOUFFARD RD
WINDSOR ON N9H 1W1

[REDACTED]
1820 BOUFFARD RD
WINDSOR ON N9H 1V7

[REDACTED]
1126 LESPERANCE RD
WINDSOR ON N8N 1X2

[REDACTED]
[REDACTED]
2545 BOUFFARD RD
WINDSOR ON N9H 1V9

[REDACTED]
[REDACTED] E
2540 BOUFFARD RD
WINDSOR ON N9H 1W1

[REDACTED]
[REDACTED]
6554 MALDEN RD
WINDSOR ON N9H 1T3

[REDACTED]
1845 MEAGAN DR
WINDSOR ON N9J 3K7

[REDACTED]
5352 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
[REDACTED]
4206 MOUNT ROYAL DR
WINDSOR ON N9G 2C2

[REDACTED]
3010 BOUFFARD RD
WINDSOR ON N9H 1W5

[REDACTED]
2519 ACADEMY DR
WINDSOR ON N9E 2G5

[REDACTED]
[REDACTED]
921 NOVA DR
WINDSOR ON N9G 2S6

[REDACTED]
2457 LESPERANCE RD
WINDSOR ON N8N 2X1

[REDACTED]
[REDACTED]
5005 HOWARD AVE
WINDSOR ON N9H 1Z5

[REDACTED]
6555 MALDEN RD
WINDSOR ON N9H 1T5

[REDACTED]
66 PALOMINO DR
KANATA ON K2M 1M2

[REDACTED]
7415 BRODERICK RD
WINDSOR ON N9H 1W7

[REDACTED]
4558 TALBOT TRAIL
RR #3
MERLIN ON N0P 1W0

[REDACTED]
6670 DISPUTED RD
WINDSOR ON N9H 1Y1

[REDACTED]
1753 ST CLAIR AVE
WINDSOR ON N9B 3T7

[REDACTED]
34 VICTORIA ST N
AMHERSTBURG ON N9V 2X6

[REDACTED]
628 SECOND CONC
RR 3 STN MAIN
AMHERSTBURG ON N9V 3R3

[REDACTED]
3185 BURBANK CRES
WINDSOR ON N8T 2M3

[REDACTED]
1780 CALVARY CRT
TECUMSEH ON N8N 5A1

[REDACTED]
1435 PARTINGTON AVE
WINDSOR ON N9B 2P7

[REDACTED]
6755 DISPUTED RD
WINDSOR ON N9H 1Y2

[REDACTED]
5015 COLBOURNE DR
WINDSOR ON N8T 1T6

[REDACTED]
1762 EVERTS AVE
WINDSOR ON N9B 3E7

[REDACTED]
751 WALLACE AVE
WINDSOR ON N9G 1M2

[REDACTED]
8545 MALDEN RD
WINDSOR ON N9J 2V6

[REDACTED]
571 ERIE ST E
WINDSOR ON N9A 3X8

[REDACTED]
2940 BOUFFARD RD
WINDSOR ON N9H 1W5

[REDACTED]
4415 VILLA PARADISO CRES
WINDSOR ON N9G 2L7

[REDACTED]
9680 BEACHDALE RD
WINDSOR ON N8R 1S3

[REDACTED]
4415 VILLA PARADISO CRES
WINDSOR ON N9G 2L7

[REDACTED]
24 PEARTREE CRT
BARRIE ON L4N 6N7

[REDACTED]
W 7653 CTY M
SHAWANO WI 54166

[REDACTED]
2764 ROCKWELL BLVD
WINDSOR ON N9E 2A3

[REDACTED]
2550 BOUFFARD RD
WINDSOR ON N9H 1W1

[REDACTED]
24 FOX HOLLOW CRES
LONDON ON N6G 3R2

[REDACTED]
5410 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
10741 MULBERRY RD
WINDSOR ON N8R 1H7

[REDACTED]
1382 2ND CONC
RR 3
AMHERSTBURG ON N9V 3R3

[REDACTED]
1840 MEAGAN DR
WINDSOR ON N9J 3K7

[REDACTED]
[REDACTED]
4980 HURON CHURCH LINE RD
WINDSOR ON N9H 1H4

[REDACTED]
2440 BOUFFARD RD
WINDSOR ON N9H 1W1

[REDACTED]
17 SOHO CRES
MARKHAM ON L3P 7H9

[REDACTED]
4780 SHADETREE CRES
WINDSOR ON N9G 2P8

[REDACTED]
[REDACTED]
1044 MARJORIE DR
WINDSOR ON N8S 4A3

[REDACTED]
695 CARUSO DR
WINDSOR ON N9G 2M7

[REDACTED]
2785 CLEMENCEAU BLVD
WINDSOR ON N8T 2P9

[REDACTED]
1244 GLIDDEN AVE
WINDSOR ON N8S 2P3

[REDACTED]
[REDACTED]
5440 HURON CHURCH LINE
WINDSOR ON N9H 1H6

[REDACTED]
[REDACTED]
197 HYDE PARK
RR3
AMHERSTBURG ON N9V 3R3

[REDACTED]
[REDACTED]
5120 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
4695 HURON CHURCH LINE
WINDSOR ON N9H 1H5

[REDACTED]
2607 CALIFORNIA AVE
WINDSOR ON N9E 4L6

[REDACTED]
[REDACTED]
5940 SOVEREIGN DR
WINDSOR ON N9H 2N9

[REDACTED]
5940 SOVEREIGN DR
WINDSOR ON N9H 2N9

[REDACTED]
999 E.C. ROW AVE
WINDSOR ON N8X 5C1

[REDACTED]
[REDACTED]
2655 BOUFFARD RD
WINDSOR ON N9H 1W3

[REDACTED] P
PO BOX 26
51 ELLEN AVE
WALKERTON ON N0G 2V0

[REDACTED]
[REDACTED]
2630 BOUFFARD RD
WINDSOR ON N9H 1W2

[REDACTED]
[REDACTED]
804 ERIE ST EAST SUITE 100
WINDSOR ON N9A 3X4

[REDACTED]
[REDACTED]
1663 ELSMERE AVE
WINDSOR ON N8X 4H5

[REDACTED]
[REDACTED]
173 ROSEMARY ST
DEARBORN HEIGHTS MI 48127

[REDACTED]
[REDACTED]
4111 CASGRAIN DR
WINDSOR ON N9G 2A6

[REDACTED]
[REDACTED]
3024 KENILWORTH DR
WINDSOR ON N9E 4M1

[REDACTED]
[REDACTED]
[REDACTED]
1724 LANGLOIS AVE
WINDSOR ON N8X 4M5

[REDACTED]
[REDACTED]
16940 COMPANIA
MACOMB MICHIGAN 48044

[REDACTED]
12707 ST THOMAS ST
WINDSOR ON N8N 1J2

[REDACTED]
12014 INTERSECTION RD
WINDSOR ON N8N 1R3

[REDACTED]
6335 MALDEN RD
WINDSOR ON N9H 1T4

[REDACTED]
[REDACTED]
1775 ALGONQUIN ST
WINDSOR ON N9B 1W7

[REDACTED]
9760 MARTINIQUE PL
WINDSOR ON N8P 1H9

[REDACTED]
187 DIANE CRES
WINDSOR ON N9K 1E2

[REDACTED]
259 BELLEPERCHE PL
WINDSOR ON N8S 3B6

[REDACTED]
6560 MALDEN RD
WINDSOR ON N9H 1T3

[REDACTED]
12011 CTY RD 15
RR 2
ESSEX ON N8M 2X6

[REDACTED]
[REDACTED]
3300 ASKIN AVE
WINDSOR ON N9E 3J5

[REDACTED]
4753 BURNS RD
MPLS MN 55364

[REDACTED]
2960 BOUFFARD RD
WINDSOR ON N9H 1W5

[REDACTED]
2580 BOUFFARD RD
WINDSOR ON N9H 1W1

[REDACTED]
1855 MEAGAN DR
WINDSOR ON N9J 3K7

[REDACTED]
138 MAPLE AVE
RR 3
BOX C9
HARROW ON N0R 1G0

[REDACTED]
C/O TERESA TELESZ-MORA
E331 - 3801 YOSEMITE BLVD
MODESTO CA USA 95357

[REDACTED]
6715 DISPUTED RD
WINDSOR ON N9H 1Y2

[REDACTED]
2935 NORTHWAY AVE
WINDSOR ON N9E 4J9

[REDACTED]
5130 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
2267 LOUIS AVE
WINDSOR ON N8X 4C2

[REDACTED]
2495 BOUFFARD RD
WINDSOR ON N9H 1V9

[REDACTED]
1565 BOUFFARD RD
WINDSOR ON N9J 1H1

[REDACTED]
334-6971 16TH AVE SE
CALGARY AB T2A 0X8

[REDACTED]
969 NOVA ST
WINDSOR ON N9G 2S7

[REDACTED]
9259 BRODERICK RD
RR 3
WINDSOR ON N9A 6Z6

[REDACTED]
1761 HEBERT ST
WINDSOR ON N8N 4G3

[REDACTED]
2681 ARMSTRONG AVE
WINDSOR ON N8T 2G2

[REDACTED]
3181 TEXAS RD
AMHERSTBURG ON N9V 2Y9

[REDACTED]
47 CROYDON RD NW
CALGARY AB T2K 1S5

[REDACTED]
47 CROYDON RD
CALGARY AB T2K 1S5

[REDACTED]
273 ST PAUL
PO BOX 464
BELLE RIVER ON N0R 1A0

[REDACTED]
5820 DALTON AVE
WINDSOR ON N9H 1N1

[REDACTED]
4655 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
2950 BOUFFARD RD
WINDSOR ON N9H 1W5

[REDACTED]
1506 HEATHERGLEN CRES
TECUMSEH ON N8N 5A5

[REDACTED]
4633 DALI CRES
WINDSOR ON N9G 2M8

[REDACTED]
420 St ROBERT
BROSSARD PQ J4X 1C6

[REDACTED]
6175 MALDEN RD
WINDSOR ON N9H 1S9

V [REDACTED]
1153 ELSMERE AVE
WINDSOR ON N9A 2B1

[REDACTED]
162 REAUME RD
WINDSOR ON N9J 1B1

[REDACTED]
4505 CENTRE LAKE RD
WINDSOR ON N9G 2R1

[REDACTED]
5330 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
49791 COOKE AVE
PLYMOUTH MI 48170

[REDACTED]
1456 ROXBOROUGH AVE
WINDSOR ON N9B 3H3

[REDACTED]
6445 DISPUTED RD
WINDSOR ON N9H 1X8

[REDACTED]
465 DARLENE PL
WINDSOR ON N9J 3B6

[REDACTED]
2715 BOUFFARD RD
WINDSOR ON N9H 1W3

[REDACTED]
16355 245TH STREET
MASON CITY IA 50401

[REDACTED]
1780 SIXTH CON RD
RR 3 LCD 3
WINDSOR ON N9A 6Z6

[REDACTED]
238 BAIN AVE
TORONTO ON M4K 1G3

[REDACTED]
238 BAIN AVE
TORONTO ON M4K 1G3

[REDACTED]
238 BAIN AVE
TORONTO ON M4K 1G3

[REDACTED]
238 BAIN AVE
TORONTO ON M4K 1G3

[REDACTED]
238 BAIN AVE
TORONTO ON M4K 1Z3

[REDACTED]
5001 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
1780 WESTMINISTER BLVD
WINDSOR ON N8T 1X4

[REDACTED]
6680 DISPUTED RD
WINDSOR ON N9H 1Y1

[REDACTED]
6640 DISPUTED RD
WINDSOR ON N9H 1Y1

[REDACTED]
6860 DISPUTED RD
WINDSOR ON N9H 2A7

[REDACTED]
801 - 374 OUELLETTE AVE
WINDSOR ON N9A 1A8

[REDACTED]
1 PINE HILL DR
RR1
PHELPSTON ON LOL 2K0

[REDACTED]
6580 DISPUTED RD
WINDSOR ON N9H 1X9

[REDACTED]
4685 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
2920 BOUFFARD RD
WINDSOR ON N9H 1W5

[REDACTED]
6440 MALDEN RD
WINDSOR ON N9H 1T3

[REDACTED]
5290 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
2862 KEW DR
WINDSOR ON N8T 3C6

[REDACTED]
2815 BOUFFARD RD
WINDSOR ON N9H 1W4

[REDACTED]
4960 HURON CHURCH LINE RD
WINDSOR ON N9H 1H4

[REDACTED]
4970 HURON CHURCH LINE RD
WINDSOR ON N9H 1H4

[REDACTED]
1443 ROXBOROUGH AVE
WINDSOR ON N9B 3H2

[REDACTED]
NEVESINJSKA 14 11000
BELGRADE, YUGOSLAVIA

[REDACTED]
5280 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
6645 DISPUTED RD
WINDSOR ON N9H 1Y2

[REDACTED]
801 - 374 OUELLETTE AVE
WINDSOR ON N9A 1A8

REPRINTS

[REDACTED]
3015 BOUFFARD RD
WINDSOR ON N9H 1W4

[REDACTED]
3024 KENILWORTH DR
WINDSOR ON N9E 4M1

[REDACTED]
238 BAIN AVE
TORONTO ON M4K 1G3

[REDACTED]
238 BAIN AVE
TORONTO ON M4K 1G3

ADDITIONS

[REDACTED]
131 N Cardinal ST
Wichita, KS 67230
jacfin@aol.com

[REDACTED]
6914 Rosevill eGarden Drive
Windsor, ON
N8T 1J2

Town of LaSalle
5950 Malden Road
LaSalle, ON N9H1S4

Town of LaSalle
5950 Malden Road
LaSalle, ON N9H1S4

Town of LaSalle
5950 Malden Road
LaSalle, ON N9H1S4

Town of LaSalle
5950 Malden Road
LaSalle, ON N9H1S4

Town of LaSalle
5950 Malden Road
LaSalle, ON N9H1S4

Town of LaSalle
5950 Malden Road
LaSalle, ON N9H1S4

Town of LaSalle
5950 Malden Road
LaSalle, ON N9H1S4

Town of LaSalle
5950 Malden Road
LaSalle, ON N9H1S4

Town of LaSalle
5950 Malden Road
LaSalle, ON N9H1S4

County of Essex
360 Fairview Avenue West, Suite 302
Essex, ON N8M 1Y6

County of Essex
360 Fairview Avenue West, Suite 302
Essex, ON N8M 1Y6

County of Essex
360 Fairview Avenue West
Suite 302
Essex, ON N8M 1Y6

Essex Region Conservation Authority
360 Fairview Avenue West, Suite 311
Essex, ON N8M 1Y6

Essex Region Conservation Authority
360 Fairview Avenue West, Suite 311
Essex, ON N8M 1Y6

Essex Region Conservation Auth
360 Fairview Avenue West,
Suite 311
Essex, ON N8M 1Y6

Fisheries and Oceans Canada
867 Lakeshore Road
Burlington, ON L7R 4A6

Ministry of Tourism, Culture & Sport
401 Bay Street, Suite 1700
Toronto, ON M7A 0A7

Ministry of Aboriginal Affairs
4th Floor, 160 Bloor Street East
Toronto, ON M7A 2E6

Ministry of the Environment
& Climate Change
733 Exeter Road
London, ON N6E 1L3

Ministry of Municipal Affairs & Housing
659 Exeter Road, 2nd Floor
London, ON N6E 1L3

Ministry of Municipal Affairs
& Housing
659 Exeter Road, 2nd Floor
London, ON N6E 1L3

Ministry of Transportation
659 Exeter Road, 4th Floor
London, ON N6E 5L3

Ministry of Natural Resources
and Forestry
615 John Street
Aylmer, ON N5H 2S8

Ministry of Natural Resources
and Forestry
615 John Street
Aylmer, ON N5H 2S8

Chippewas of the Thames
First Nation
320 Chippewa Road, RR 1
Muncey, ON N0L 1Y0

Chippewas of the Thames First Nation
320 Chippewa Road, RR 1
Muncey, ON N0L 1Y0

Chippewas of Kettle & Stony Point
First Nation
6247 Indian Ln
Lambton Shores, ON N0N 1J2

Chippewas of Kettle & Stony Point
First Nation
6247 Indian Lane, ON
Lambton Shores, ON N0N 1J1

Aamjiwnaang First Nation
978 Tashmoo Avenue
Sarnia, ON N7T 7H5

Walpole Island First Nation
/ Bkejwanong Territory
R.R. #3
Wallaceburg, ON N8A 4K9

Walpole Island First Nation
/ Bkejwanong Territory
R.R. #3
Wallaceburg, ON N8A 4K9

Moravian of the Thames
RR3
Thamesville, ON N0P 2K0

Cogeco Cable Solutions
2525 Dougall Ave.
Windsor, ON N8X 5A7

Union Gas
3840 Rhodes Drive
Windsor, ON N9A 6N7

Rinad Inc.
2224 Walker Road, Suite 150
Windsor, ON N8W 5L7

Stonegate Development Corporation
2365 Mark Avenue
Windsor, ON N9E 3X8

Conseil scolaire catholique
Providence *(formerly Conseil scolaire de district
des écoles catholiques du Sud-Ouest)*
7515 Forest Glade Promenade
Windsor, ON N8T 3P5

Windsor-Essex Catholic District
School Board
1325 California Ave
Windsor, ON N9B 3Y6

Caldwell First Nation
P.O. Box 388
Leamington, ON N8H 3W3

Metis Nation of Ontario
75 Sherborune Street
Toronto, ON M5A 2P9

MNSi
3363 Tecumseh Road East
Windsor, ON N8W 1H4

2985 Dougall Avenue
Windsor, ON
N9E 1S1

Stonegate Development Corporation
2365 Mark Avenue
Windsor, ON N9E 3X8

Greater Essex County District
School Board
Box 210 451 Park St W
Windsor, ON N9A 6K1

Caldwell First Nation
P.O. Box 388
Leamington, ON N8H 3W3

Bell Canada
1149 Goyeau Street, P.O. Box 1601
Windsor, ON N9A 1H9

Hydro One Networks Inc.
56 Embro Street
Beachville, ON N0J 1A0

for Jean-Marie McPhail
200 Wilkinson Street
Innisville, ON L9S 1X3

South Bouffard Land
Development Inc.
804 Erie Street East, Suite 100
Windsor, ON N9A 3Y4

John McGivney Children's Centre
School Authority
3945 Matchette Road
Windsor, ON
N9C 4C2

**Town of LaSalle: Bouffard and Howard Planning Area
Class Environmental Assessment Addendum and Planning Act Approvals**

**Public Information Centre – June 6, 2016
Record of Attendance**

NAME (please print)	MAILING ADDRESS (please print)	POSTAL CODE
	2730 Bouffard Rd	N9H 1W2
	1762 Everts Av.	N9B 3E7
	3364 Ribandy Rd.	N8W 3V2
	5815 BISHOP ST	N9H 2K4
	4111 Casgrain Dr.	N9G-2A6
	2580 Bouffard Rd.	N9H 1W1
	2610 Bouffard Rd	N9H 1W2
	10870 Mulberry Rd	N8R 1H8
	3213 Woodland	N9E 1Z6
	3391 Glenwood	N9C 2Y3
	5660 Cone SW	N9Y 2Y9
	401 St. Francis	N9H 0A8

Project No. 16-3470

**Town of LaSalle: Bouffard and Howard Planning Area
Class Environmental Assessment Addendum and Planning Act Approvals**

**Public Information Centre – June 6, 2016
Record of Attendance**

NAME (please print)	MAILING ADDRESS (please print)	POSTAL CODE
[REDACTED]	477 Green Valley Dr Tecumseh, Ont	N8N 4C2.
[REDACTED]	3344 DEERBROOK ONT	N8R 2C9
[REDACTED]	231 ULSTER ST.	N9N 0B9
[REDACTED]	2820 BOUFFARD RD	N9H 1W5
[REDACTED]	6650 DISPUTED RD	N9H 1Y1
[REDACTED]	2840 Bouffard Rd.	N9H 1W5
[REDACTED]	5400 Huron Church	N9H 1S3
[REDACTED]	2935 BOUFFARD LA SALLE.	
[REDACTED]	2740 Fairland	N9H 1W2
[REDACTED]	2010 Angelina Ave	N9H 0A3
[REDACTED]	5370 Huron Church.	N9H 1H6
[REDACTED]	1060 Howard	N9E 1S6

Project No. 16-3470

**Town of LaSalle: Bouffard and Howard Planning Area
Class Environmental Assessment Addendum and Planning Act Approvals**

**Public Information Centre – June 6, 2016
Record of Attendance**

NAME (please print)	MAILING ADDRESS (please print)	POSTAL CODE
	1932 Lesperance Rd.	N8N 2N3
	1020 6th CONC	N9A 4Z6
	2945 BOUFFARD RD	N9H 1W4
	2496 Dandurand	N9E 2C9
	2750 BROOKLYN AVE	N9H 2L2
	2750 Brunswick Ave	N9H 2L2
	2010 PICCADILLY AVE TECUMSEH ONT NOR10	NOR-1L0
	295 OLD TECUMSEH TECUMSEH	N8N3T2
	3461 Byng RD Windsor.	N8W3H6
	3737 Ouellette Ave	N9E 3M6
	"	"
	"	"

**Town of LaSalle: Bouffard and Howard Planning Area
Class Environmental Assessment Addendum and Planning Act Approvals**

**Public Information Centre – June 6, 2016
Record of Attendance**

NAME (please print)	MAILING ADDRESS (please print)	POSTAL CODE
[REDACTED]	[REDACTED]	N9J 3R8
[REDACTED]	1658 MAINTETTE AVE	N8X 4E6
[REDACTED]	199 CRYSTAL HARBOUR DR N9J3M8	N9J3M8
[REDACTED]	1157 ELSMERIE	N9A 2B1
[REDACTED]	5310 HERON CHURCH LINE	N9H 1H6
[REDACTED]	855 LAKESHORE RD 103	N9R 1K0
[REDACTED]	6714 ROSEVILLE GARDEN DR	N8T-1J2
[REDACTED]	2971 STILLMEADOW WINDSOR	N8R 1N2
[REDACTED]	9 SPRING CT, WINDSOR, ON.	N9E 1P7
[REDACTED]	6640 MALDEN RD LASALLE	N9H 1T6
[REDACTED]	109-6335 EDGAR ST. WINDSOR, ON	N8S 2A7
[REDACTED]	208-6335 EDGAR ST, WINDSOR, ON	N8S 2A7.

**Town of LaSalle: Bouffard and Howard Planning Area
Class Environmental Assessment Addendum and Planning Act Approvals**

**Public Information Centre – June 6, 2016
Record of Attendance**

NAME (please print)	MAILING ADDRESS (please print)	POSTAL CODE
	EMILIO 0185 EVANHOE EA	NRP AL2
		" "
	2779 PARENT AVE	N8X 4K7
	6554 MALDEN RD	N9H 1T3
	5345 Rhodes Drive	N8N 2M1
	6570 Disputed Rd	N9H 1X9
	1335 Moreton DR	N91 3S9
	1382 2ND CONC. A'BURG	N9V 3R3
	3426 Bruce Ave	N9E 4R8
	6670 Disputed Rd	N9H 1Y1
	6670 Disputed Rd	N9H 1Y1

Project No. 16-3470

**Town of LaSalle: Bouffard and Howard Planning Area
Class Environmental Assessment Addendum and Planning Act Approvals**

**Public Information Centre – June 6, 2016
Record of Attendance**

NAME (please print)	MAILING ADDRESS (please print)	POSTAL CODE
	6555 MAIDEN RD. LASALLE	
	1815 HOLLINGE AVE	N9H 1V5
	3199 DOUGALL AVE	N9E 1S5
	2910 Northway Ave, Windsor	N9E 4E9
	2475 LONGFELLOW	N9E 2K8
	31216 NARRAGANSETT LN., BAY VILLAGE, OH	44140
	1260 Monty Lafalle	N9J 3S2
	333 Wyandotte St. E Windsor ON	N9A 3H7
	360 Fairview Ave W, Essex, ON	N8A 1Y6
	2785 Clemenceau Blvd Windsor ON	N8T 2P9
	2930 Bouffard Rd LaSalle	N9H 1W5
1915 OMIRA ST. L.S.	N9H 1R4	

Project No. 16-3470

**Town of LaSalle: Bouffard and Howard Planning Area
Class Environmental Assessment Addendum and Planning Act Approvals**

**Public Information Centre – June 6, 2016
Record of Attendance**

NAME (please print)	MAILING ADDRESS (please print)	POSTAL CODE
	4990 HURON CHURCH LINE RD	N9H 1R4
	2860 Bouffard Rd.	N9H 1W5
	11427 Amalfi Court Windsor.	
	3495 Victoria Blvd.	
	1775 ALGONQUIN ST WINDSOR	N9B-1W7
	1775 ALGONQUIN ST WINDSOR	N9B-1W7
	1217 KASSAS	
	333 Wyandotte St E Windsor	N9A 3H 7
	1950 OMIRA	
	CERNE ROSA FRANKLIN	
	10465 FERRELLINE	N8P1Z2
	9630 Asgard RD.	N8R-1E2

**Town of LaSalle: Bouffard and Howard Planning Area
Class Environmental Assessment Addendum and Planning Act Approvals**

**Public Information Centre – June 6, 2016
Record of Attendance**

NAME (please print)	MAILING ADDRESS (please print)	POSTAL CODE
	2791 Parent, Windsor, ON	N8X 4K7
	R.R#2, 2196 Gesto Rd Essex	N8m 2x6
	3040 BOUFFARD	N9H 1W5
	4960 HURON CHURCH LINE	N9H 1H4
	1414 ROXBOROUGH BLVD	N9B 3H3
	1070-DANDURAND CRT WINDS,	N9E 4K5
	2628 NORTHWAY AVE WINDSOR	N9E 4N9
	1541 HAIST STREET Box 640 FOUNTAIN ONT. L0S 1E0	L0S 1E0.
	117 Pearl St Larnia On N1T5G6	
	751 LARESIDE DRIVE —	N0R - 1G0
	1044 MARJORIE DR	N8S 4A3
	6655 Disputed Rd	

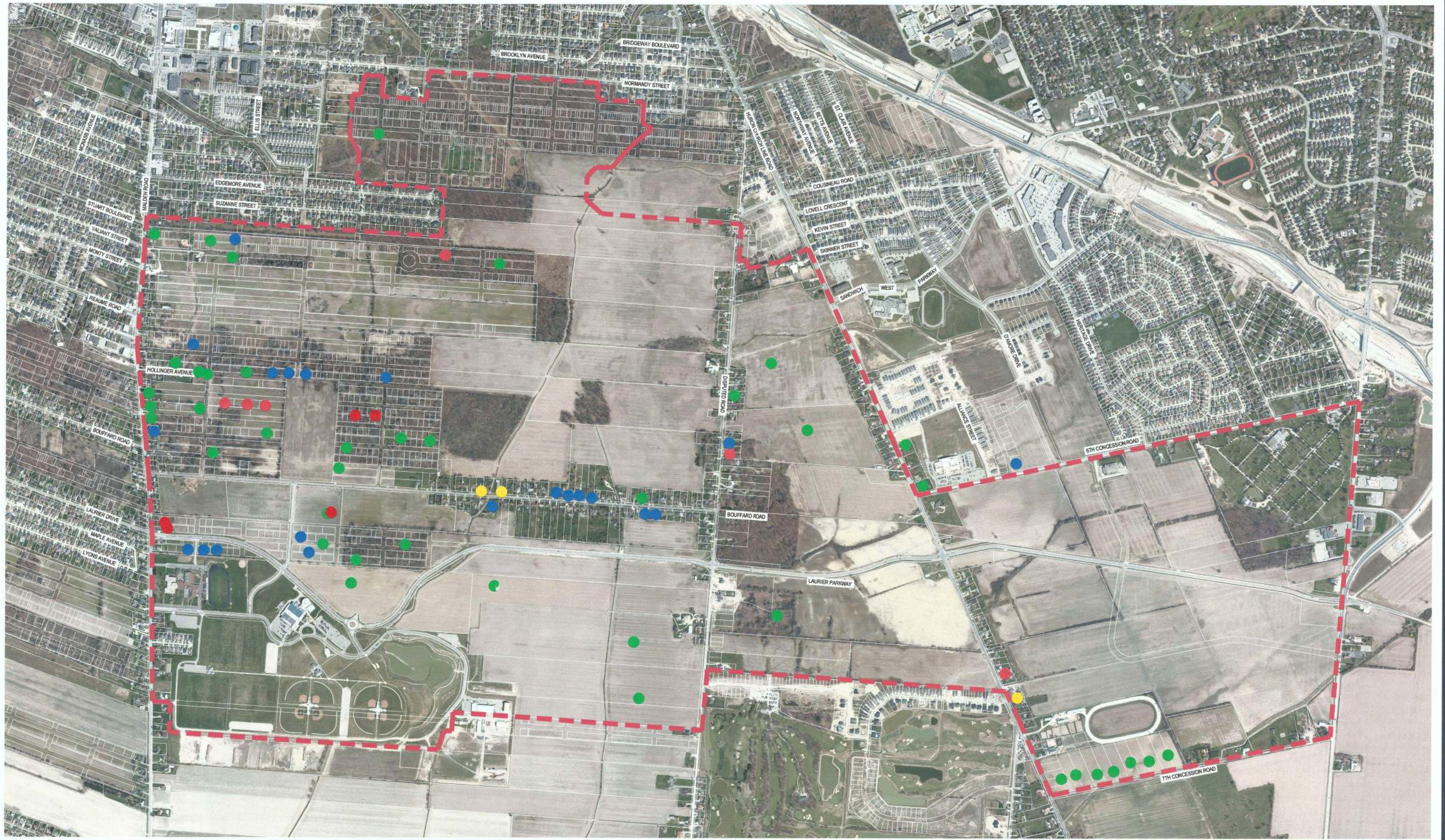
Project No. 16-3470

**Town of LaSalle: Bouffard and Howard Planning Area
Class Environmental Assessment Addendum and Planning Act Approvals**

**Public Information Centre – June 6, 2016
Record of Attendance**

NAME (please print)	MAILING ADDRESS (please print)	POSTAL CODE
[REDACTED]	1095 St. Mary's Blvd	N8S 2J3
	2615 BOUFFARD ROAD	N8H 1W3

Project No. 16-3470



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 Date: 05/13/2014 11:11 AM



BOUFFARD HOWARD
 CLASS ENVIRONMENTAL ASSESSMENT
 & INTEGRATED APPROVALS
 TOWN OF LASALLE
OWNERSHIP IDENTIFICATION MAP

WELCOME!

Bouffard Howard Class Environmental Assessment (EA) Addendum Public Information Centre #1

June 6, 2016

Vollmer Culture and Recreation Complex



WELCOME!

Class EA Addendum - Integrated Approach

Study Process

The study is following the requirements of the Municipal Class Environmental Assessment (EA) (2000, as amended). The study will meet the requirements of the "Integrated Approach" which provides an opportunity to fulfill requirements of the Environmental Assessment Act and Planning Act through a coordinated process, where appropriate. **We are a Schedule 'B' Project.**

Class Environmental Assessment

The Class EA Process ensures:

- All relevant social, environmental and engineering factors are considered in the planning and design process
- Public and agency input is integrated into the EA process

SCHEDULE B
SCHEDULE C

Phase 1: Problem / Opportunity

Confirm the study purpose and justification.

We Are Here!

SCHEDULE B
SCHEDULE C

Phase 2: Alternative Solutions

- Identify reasonable alternative solutions to the problem/opportunity
- Overview of existing conditions
- Consult review agencies and the public
- Evaluate alternatives and recommend a solution
- Select the preferred solution
- Document the decision making process for public and agency review (Schedule B)

SCHEDULE C

Phase 3: Alternative Design Concepts

- Identify alternative design concepts
- Detailed review of existing conditions
- Evaluate alternatives and select a recommended design
- Consult review agencies and the public.
- Select the preferred design.

SCHEDULE C

Phase 4: Environmental Study Report

Document the decision making process in an environmental study report (ESR) for a Schedule C Project.

SCHEDULE B
SCHEDULE C

Phase 5: Implementation

- Detailed design and construction phase
- Monitor for environmental provisions and commitments

STUDY PURPOSE

Bouffard Howard Class EA Addendum

An addendum is being initiated to two previous Schedule B Class EA studies:

1. Bouffard and Howard Planning Districts Master Servicing Study (2002)
2. Bouffard and Howard Planning Districts Functional Design Study (August 2005)

Both studies were completed following the requirements of the Municipal Class EA for Schedule B undertakings.

The purpose of the EA Addendum is to review and update both reports and prepare one comprehensive plan for the study area. The EA Addendum will be completed following the Integrated Approach outlined in the Municipal Class EA (2000, as amended) and will include obtaining Planning Act approvals at the same time as the EA approval.

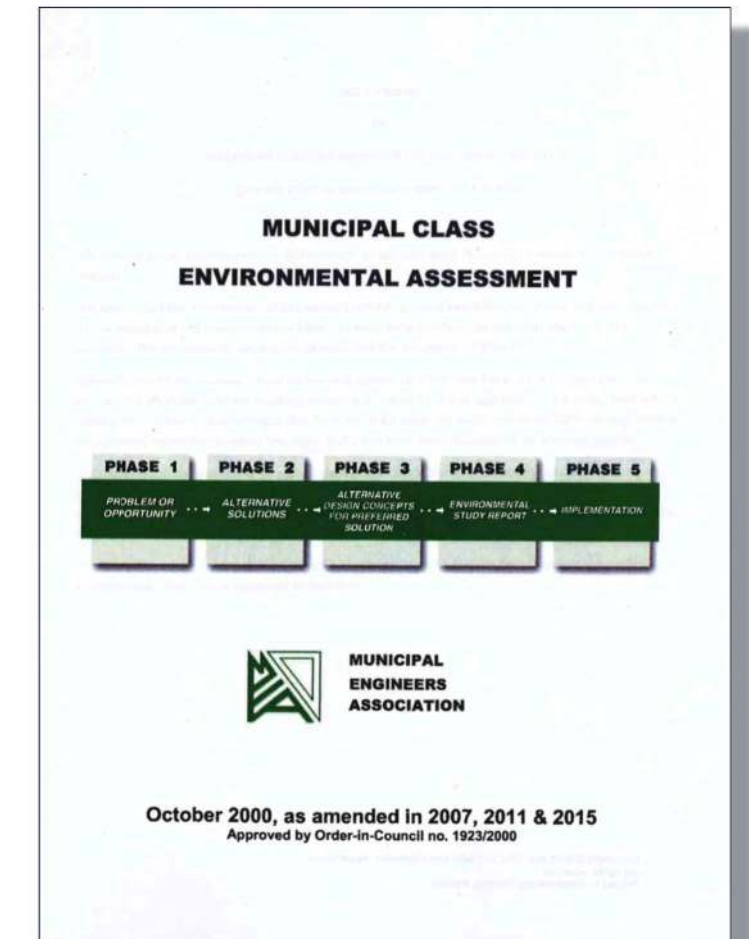
The Addendum process will:

Part 1

- Review decisions made in the two previous studies and recommend revisions. The key areas being reviewed include:
 - *Revisions to drainage area boundaries, including revision to the number and location of stormwater ponds shown in the 2005 study.*
 - *Confirm the location and size of the trunk storm sewers, trunk sanitary sewers and locations of collector and arterial roads.*
 - *Confirm the location and size of natural environment areas and corridors.*
- Document the recommended changes in an Addendum Report. Only the changes are subject to public review and input under the EA Act.

Part 2

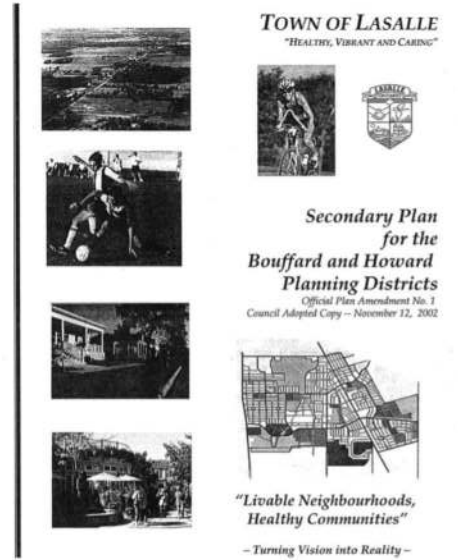
- Approval for a number of proposed developments in the area, including Draft Plans of Subdivision, Official Plan and Zoning By-law amendments.



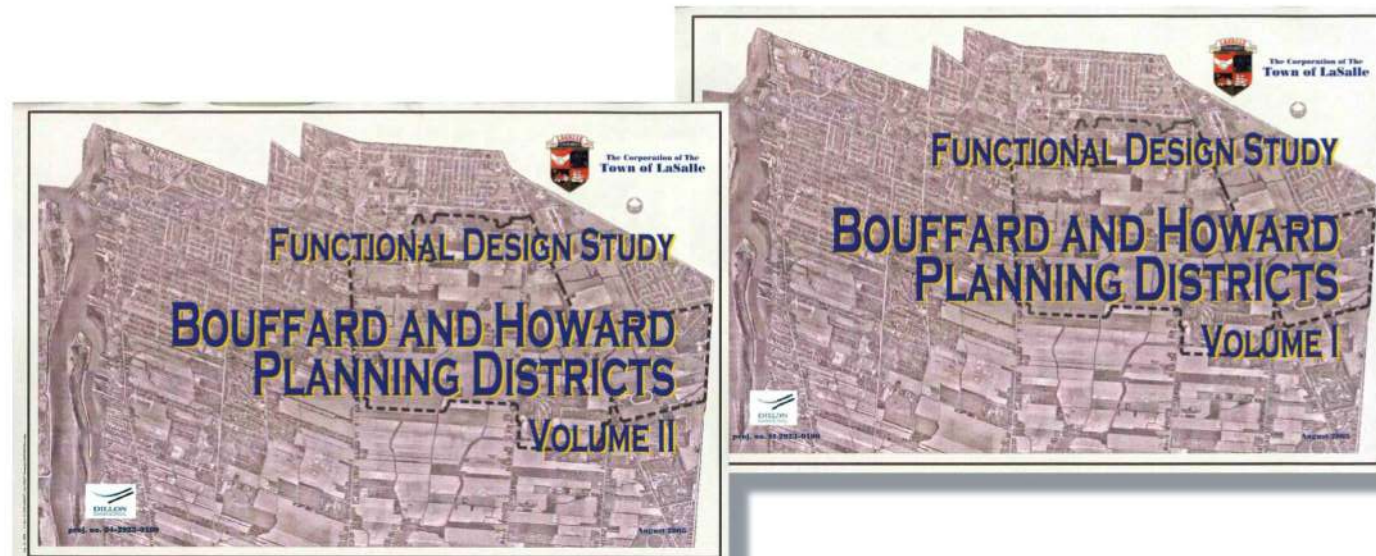
BOUFFARD HOWARD

Chronology

2002 Bouffard Howard Secondary Plan and Master Servicing Study



2005 Functional Design Study (Vol. I&II)



2015 Phase 1 Review of Storm Water Management Servicing Strategy

Bouffard and Howard
Planning Districts
Phase 1 - Review of Storm
Water Management
Servicing Strategy
Town of LaSalle

Report
Revised - July 2015

Cooperation of the Town of LaSalle

14-0342

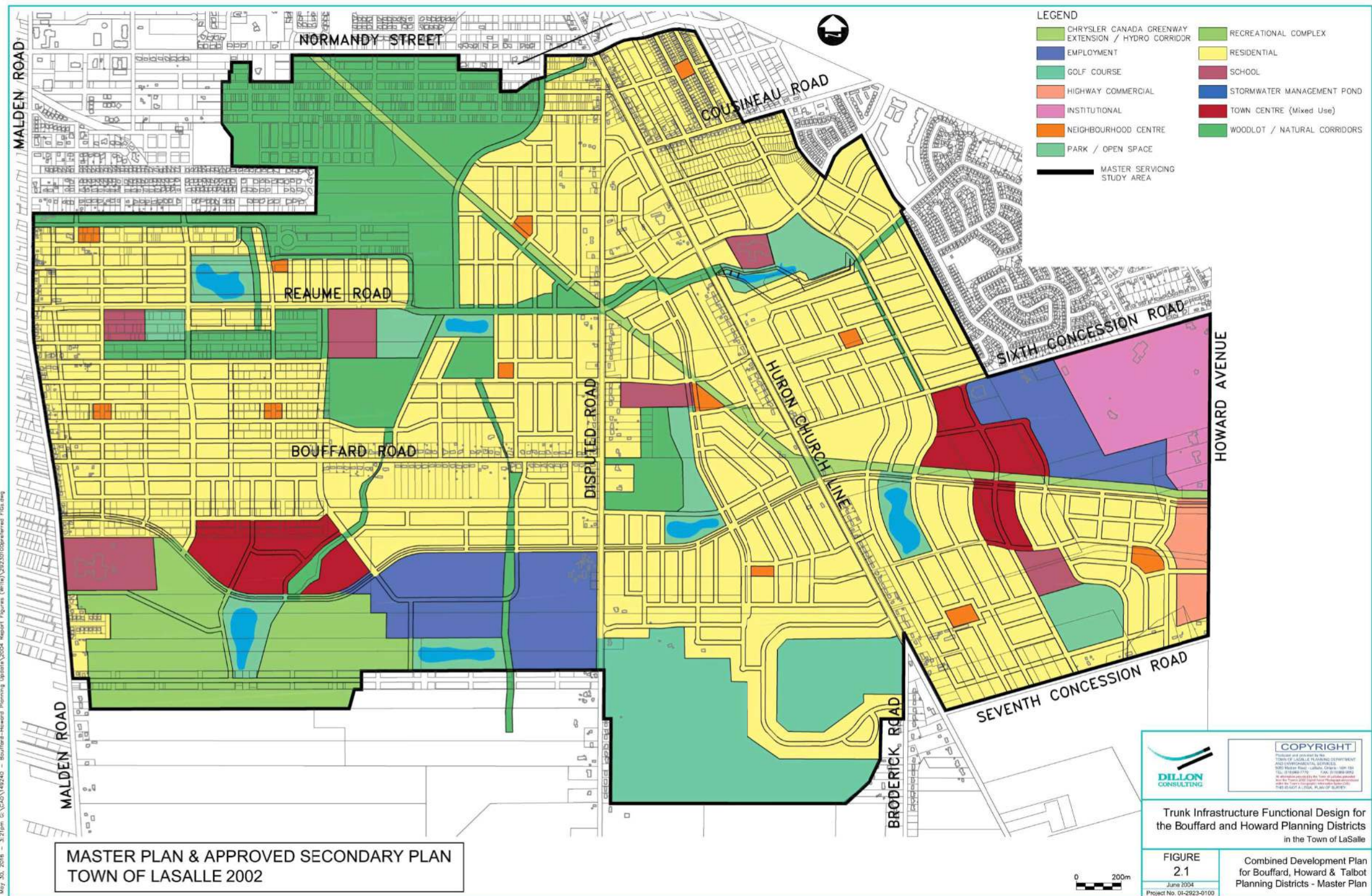
Submitted by
Dillon Consulting Limited
2200 Broadview Ave., Suite 108
Windsor, Ontario N9B 1A8
Telephone: (519) 944-0200
Facsimile: (519) 944-0201
Email: wms@dcsl.com

The following panels summarize key information from the previous studies.

FUNCTIONAL DESIGN STUDY

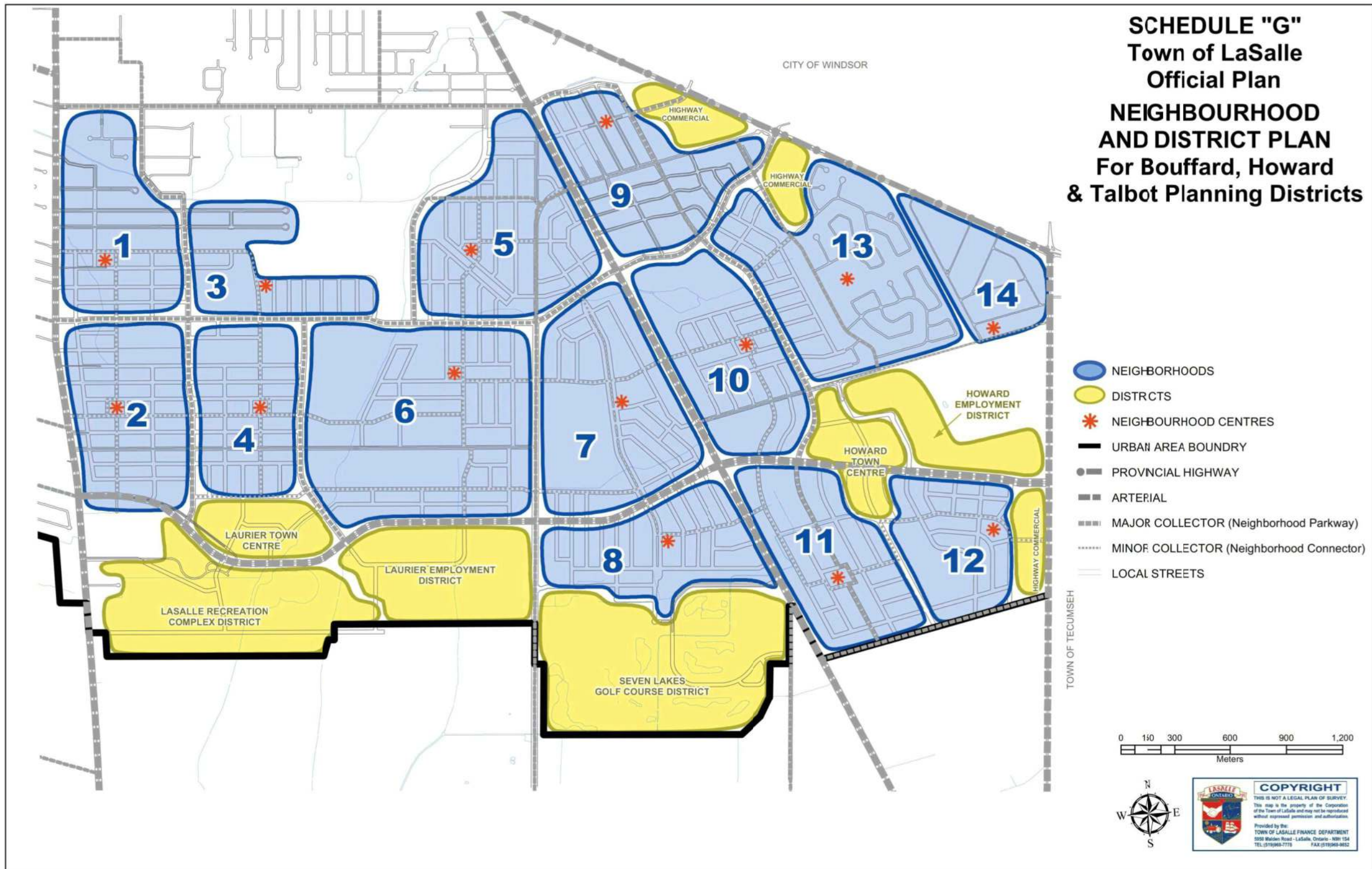
Combined Development Plan for Bouffard, Howard and Talbot

Planning Districts (2005)



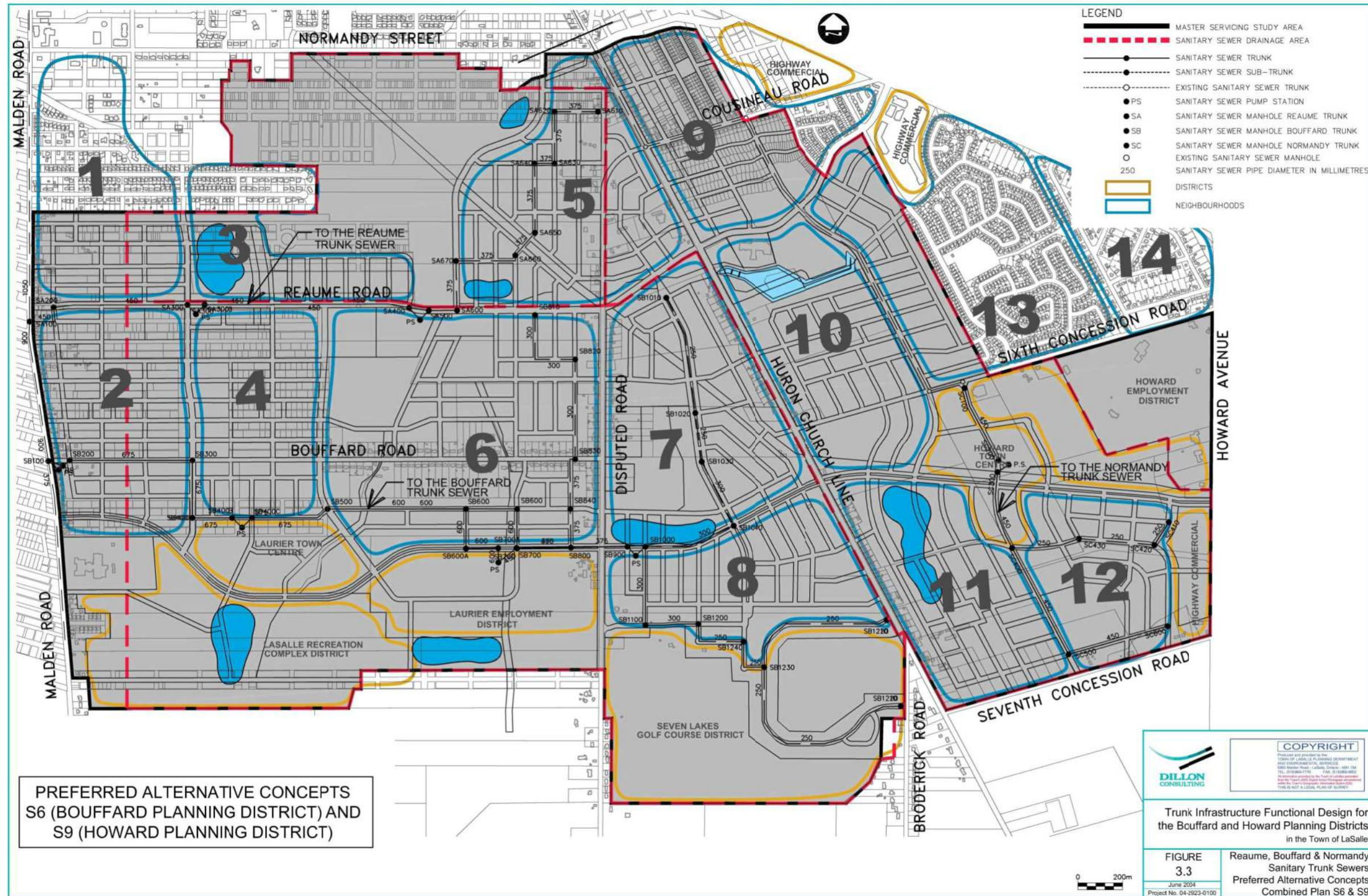
FUNCTIONAL DESIGN STUDY

Neighbourhood and District Plan (2005)



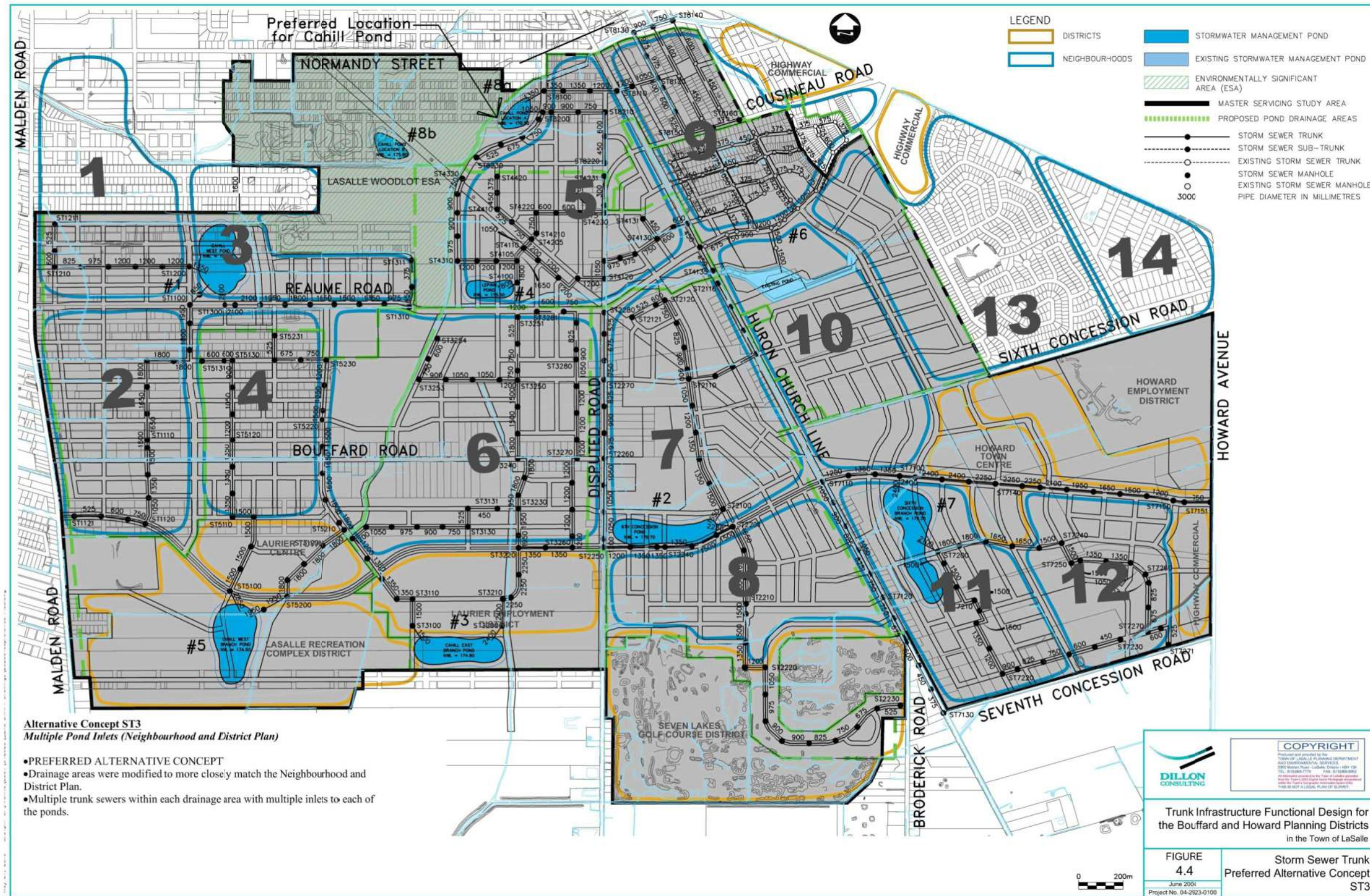
FUNCTIONAL DESIGN STUDY

Sanitary Trunk Infrastructure (2005)



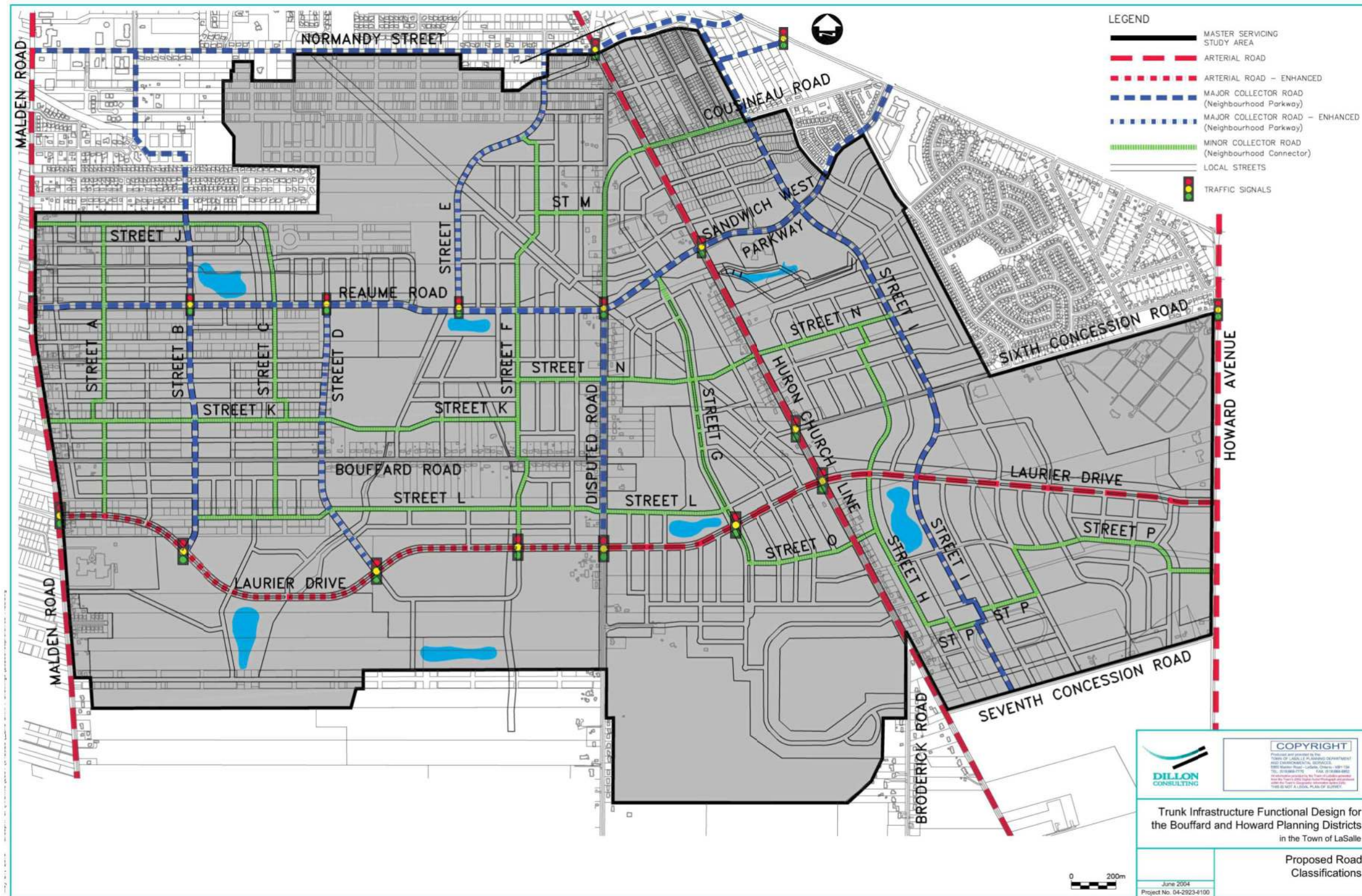
FUNCTIONAL DESIGN STUDY

Storm Sewer Trunk Infrastructure (2005)



FUNCTIONAL DESIGN STUDY

Proposed Road Classification (2005)

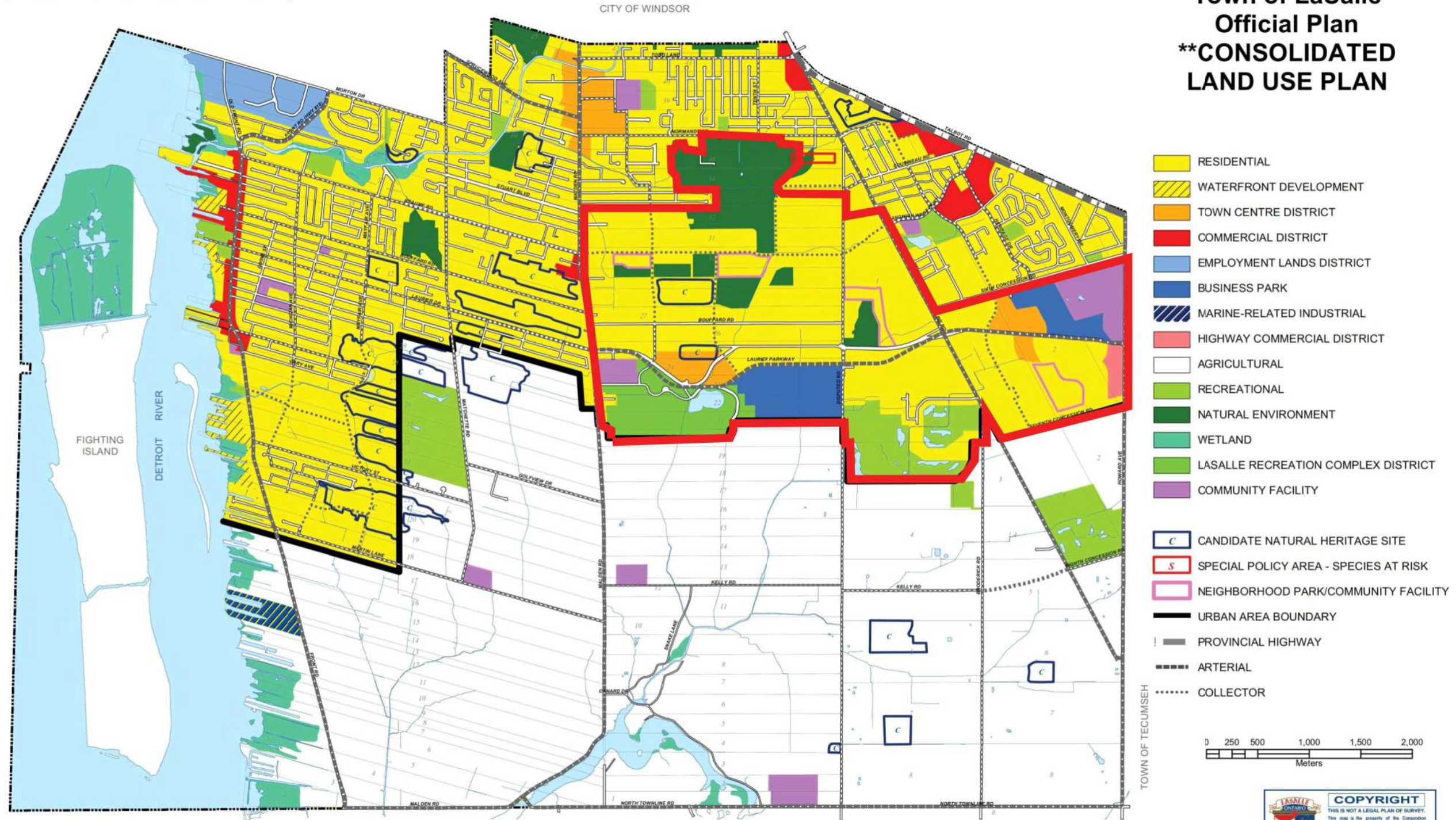


BOUFFARD HOWARD PLANNING CONTEXT

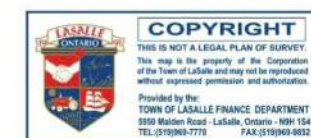
LaSalle Official Plan

****NOTE:** This Consolidated Land Use Map is included for information purposes only. Please refer to the individual Land Use Schedules contained within the Official Plan document for applicable designations. (Schedules "B", "B-1", "B-2", "B-3", "B-4" and "B-5")

Town of LaSalle Official Plan ****CONSOLIDATED LAND USE PLAN**

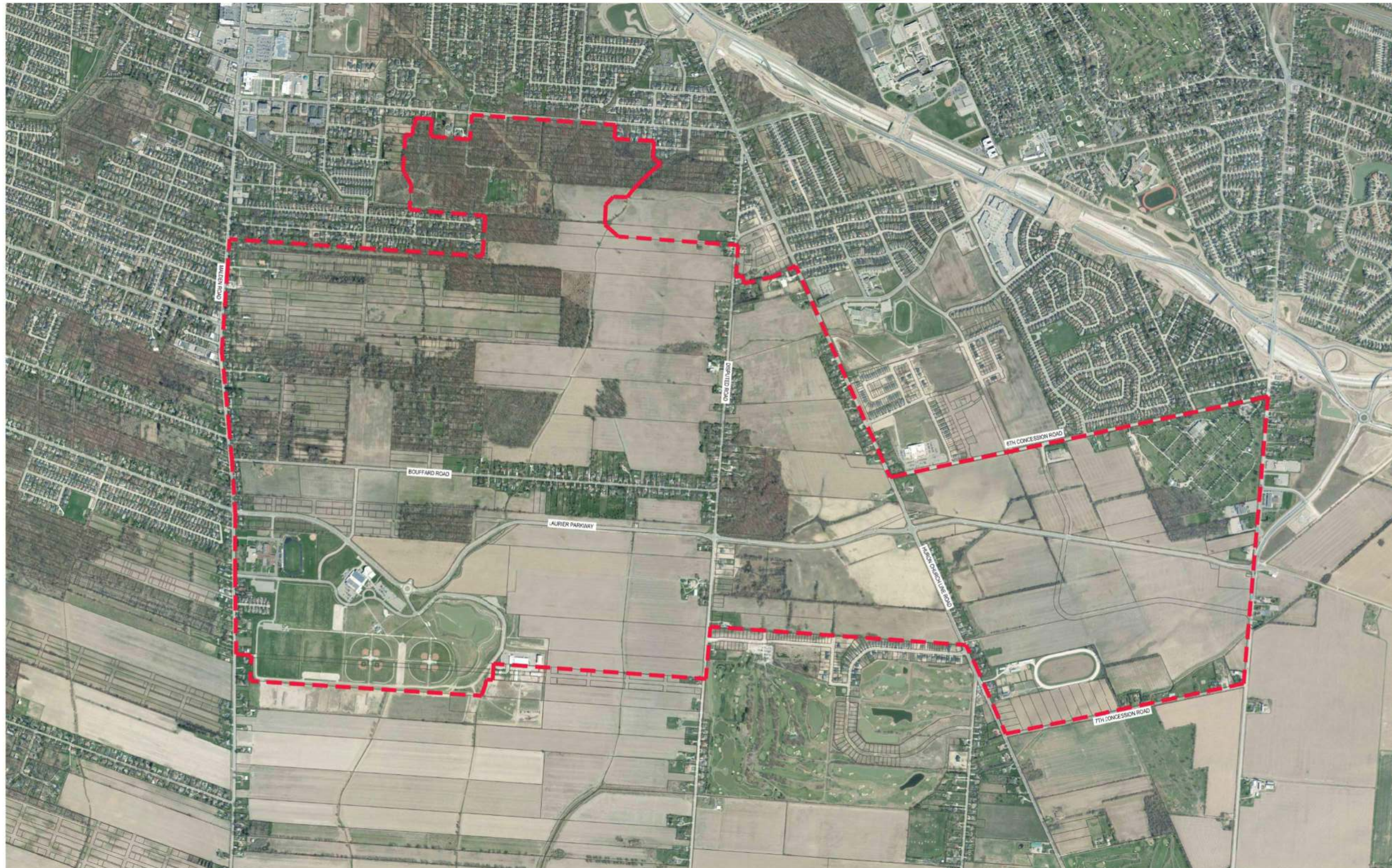


Source: Town of LaSalle Official Plan (2015)



BOUFFARD HOWARD STUDY AREA

Class EA Addendum and Planning Approvals - Integrated Approach



Legend



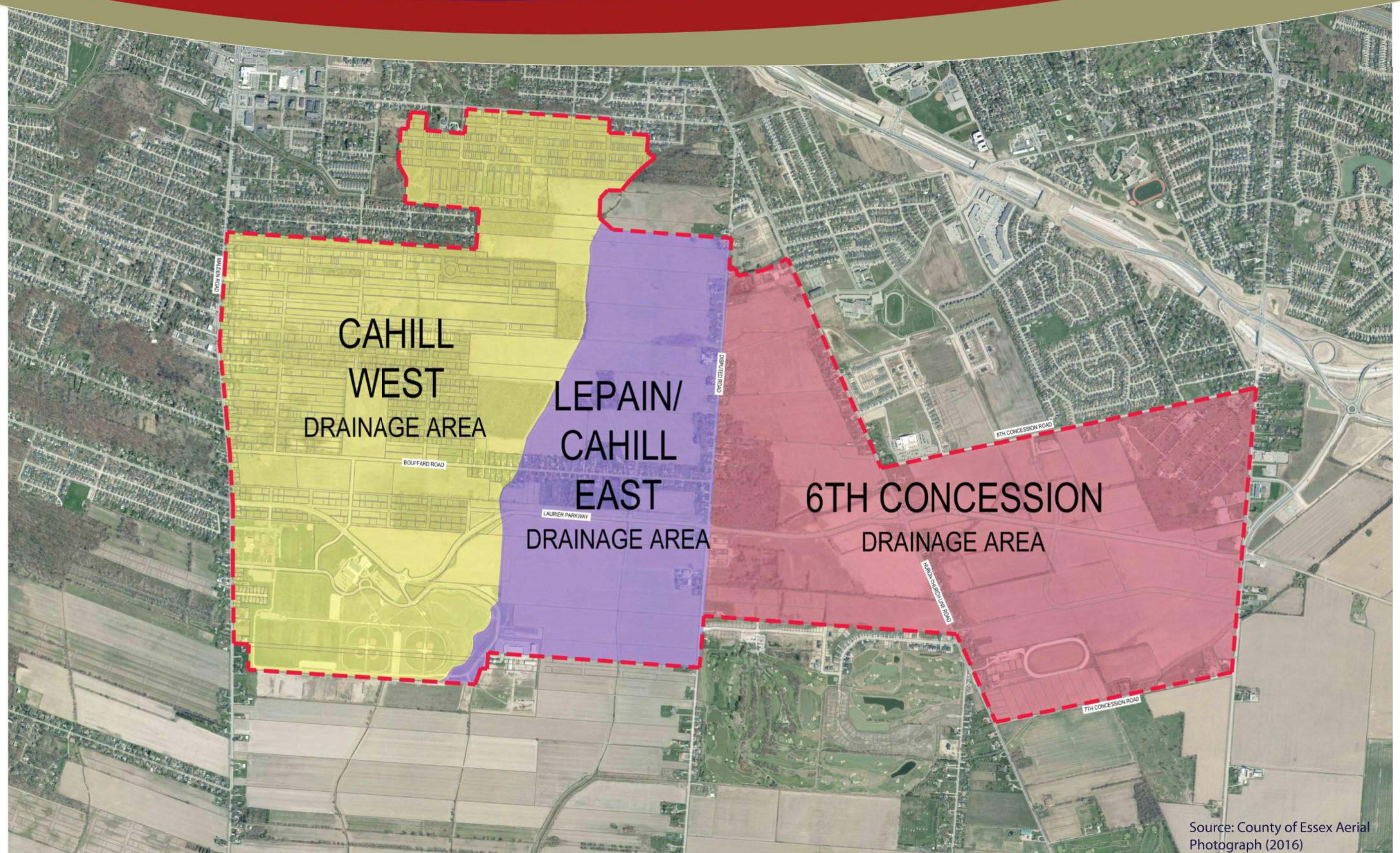
STUDY AREA

The purpose of this meeting is to receive input on the plans being developed for the study area.

The concepts shown are currently being evaluated, as required under the Class EA process.

BOUFFARD HOWARD

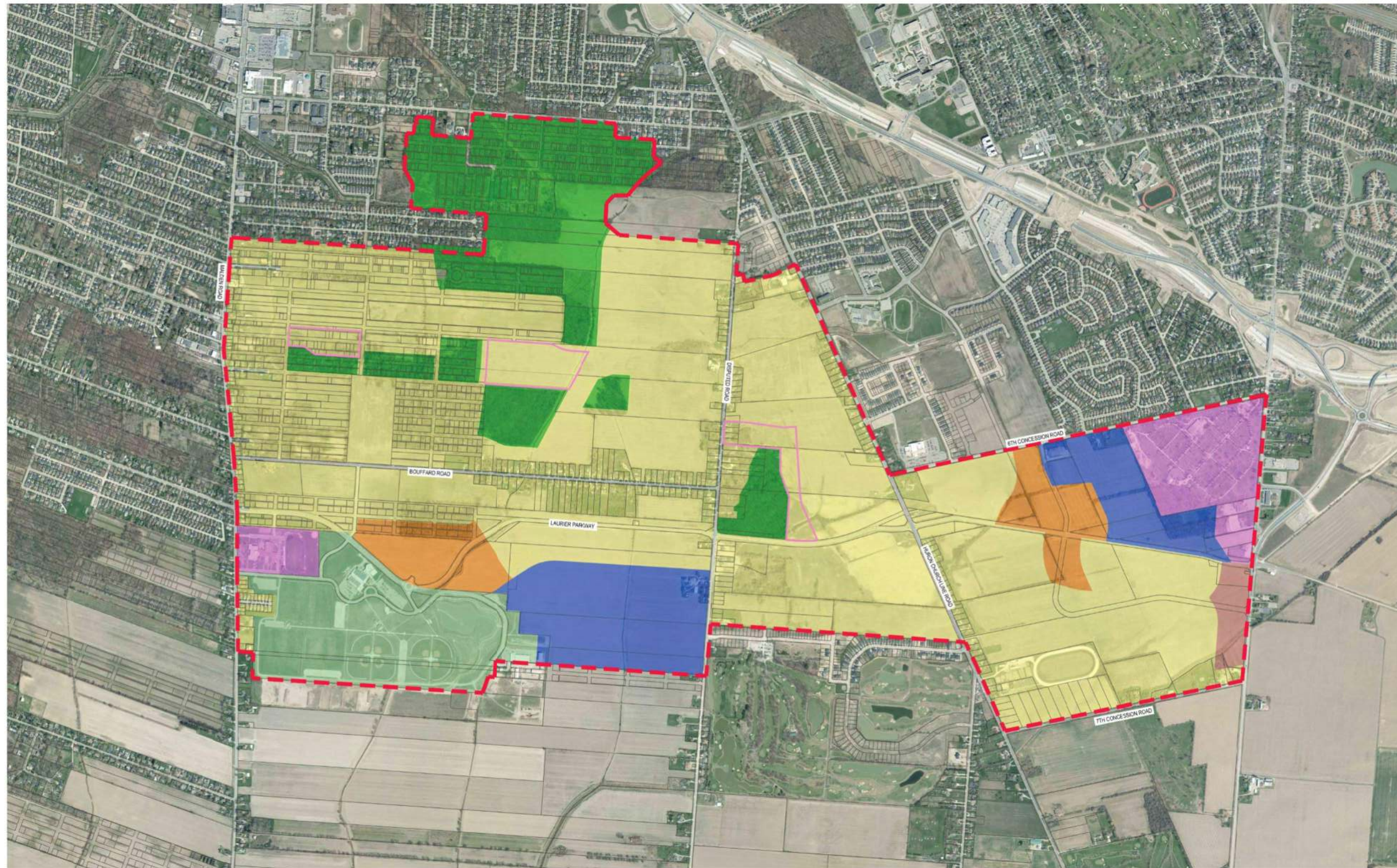
Study Areas (2016)



Source: County of Essex Aerial Photograph (2016)

OFFICIAL PLAN

Class EA Addendum and Planning Approvals - Integrated Approach



Legend

- STUDY AREA
- RESIDENTIAL AREA
- NATURAL ENVIRONMENT
- EMPLOYMENT LANDS DISTRICT
- HIGHWAY COMMERCIAL DISTRICT
- COMMUNITY FACILITY (EXISTING FACILITIES)
- LASALLE RECREATIONAL COMPLEX DISTRICT
- LAURIER/HOWARD TOWN CENTRE DISTRICT
- COMMUNITY FACILITY/NEIGHBOURHOOD PARK

Source: Town of LaSalle Official Plan (2015)
Schedules B-4 & B-5

ZONING BY-LAW

Class EA Addendum and Planning Approvals - Integrated Approach

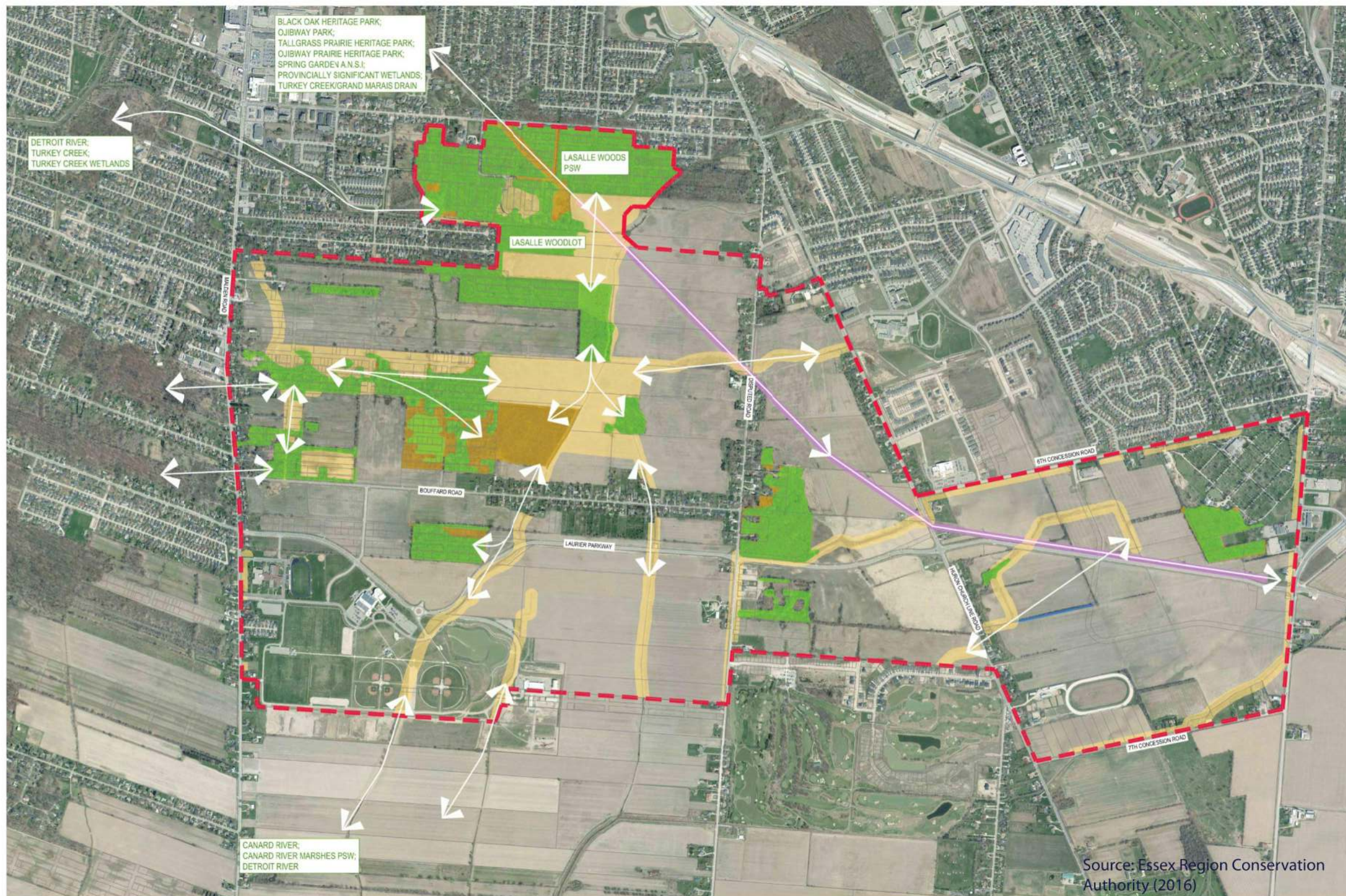


Legend

-  STUDY AREA
-  RESIDENTIAL (R) ZONE
- R1: RESIDENTIAL ONE ZONE (SECTION 8);
R3: RESIDENTIAL THREE ZONE (SECTION 8)
-  RESIDENTIAL HOLDING (RH) ZONE
-  AGRICULTURAL (A) ZONE
- A-9: DEFINED AREA 9, AGRICULTURAL (SECTION 21.3.9)
-  INSTITUTIONAL (I) ZONE
-  INSTITUTIONAL HOLDING (IH) ZONE
-  RECREATIONAL (RE) ZONE
-  LIGHT INDUSTRIAL (M1) ZONE
-  LIGHT INDUSTRIAL HOLDING (M1H) ZONE
-  TOWN CENTRE HOLDING (TND-TC1-H) ZONE

ERCA NATURAL HERITAGE MAPPING & SPECIES AT RISK

Class EA Addendum and Planning Approvals - Integrated Approach



Legend

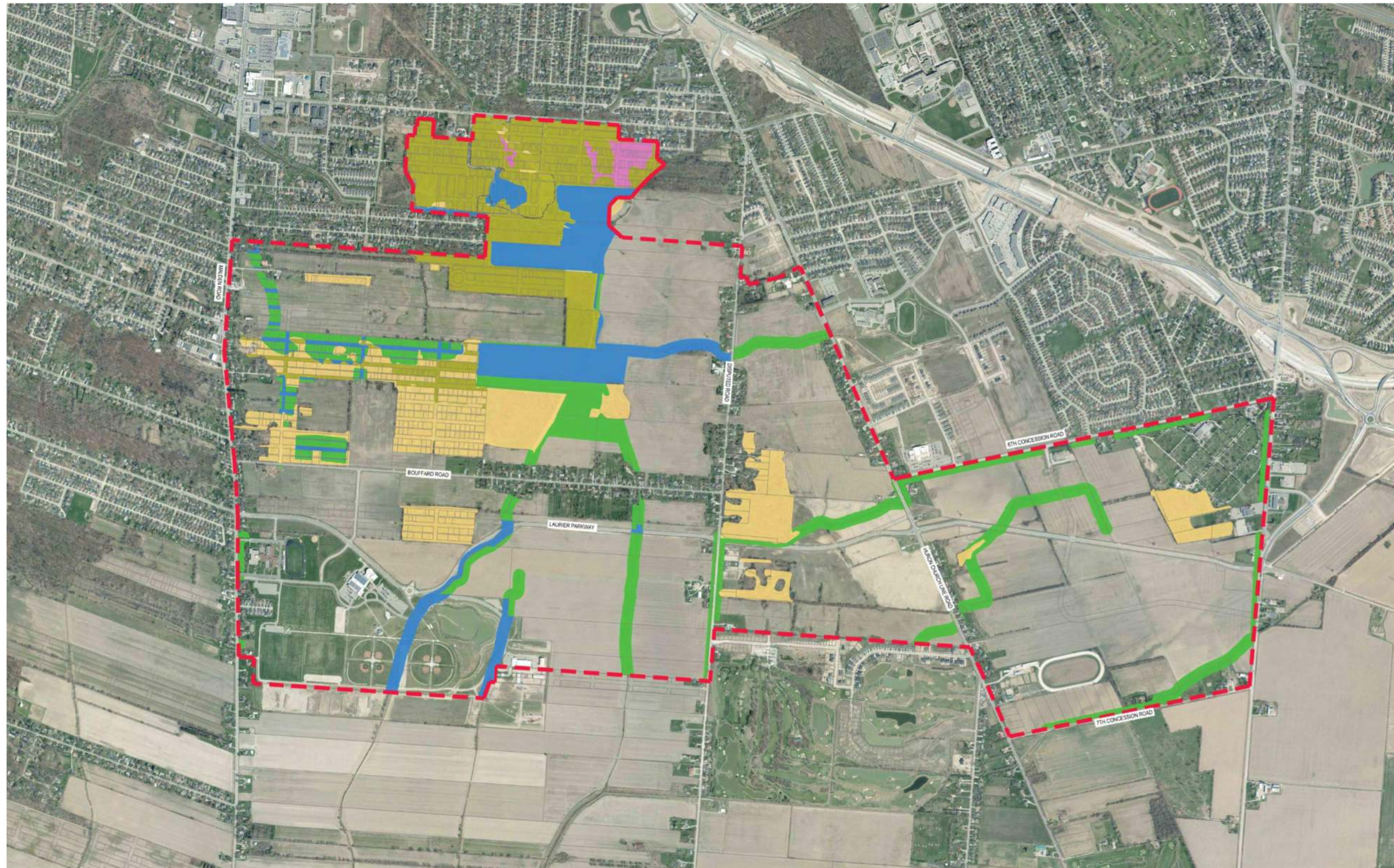
- STUDY AREA
- FOREST (ERNHSS - ERCA)
- OTHER TERRESTRIAL NATURAL FEATURE (ERNHSS - ERCA)
- RESTORATION OPPORTUNITIES (ERCA)
- PROPOSED NATURAL AREA LINKAGES
- HYDRO CORRIDOR ALIGNMENT

The Natural Heritage System (NHS) will be developed based on existing natural features and providing connections between them, both within the Study Area and beyond. The sensitivity and importance of the natural features within and connected to the Study Area are well documented and well known. The goal is to provide additional natural area to enhance the form and function of the NHS on a landscape scale and provide the opportunity for further connections in the future.


Special attention in the development of the NHS will be given to Species at Risk (SAR) and their habitat requirements. It is the intention to develop the characteristics (size, structure, etc.) of the NHS based on the habitat requirements of the known SAR in this area as well as other factors. Where available, relevant documents, such as Recovery Strategies, Government Response Statements, etc., will be consulted.

ERCA NATURAL HERITAGE MAPPING & SPECIES AT RISK

Class EA Addendum and Planning Approvals - Integrated Approach

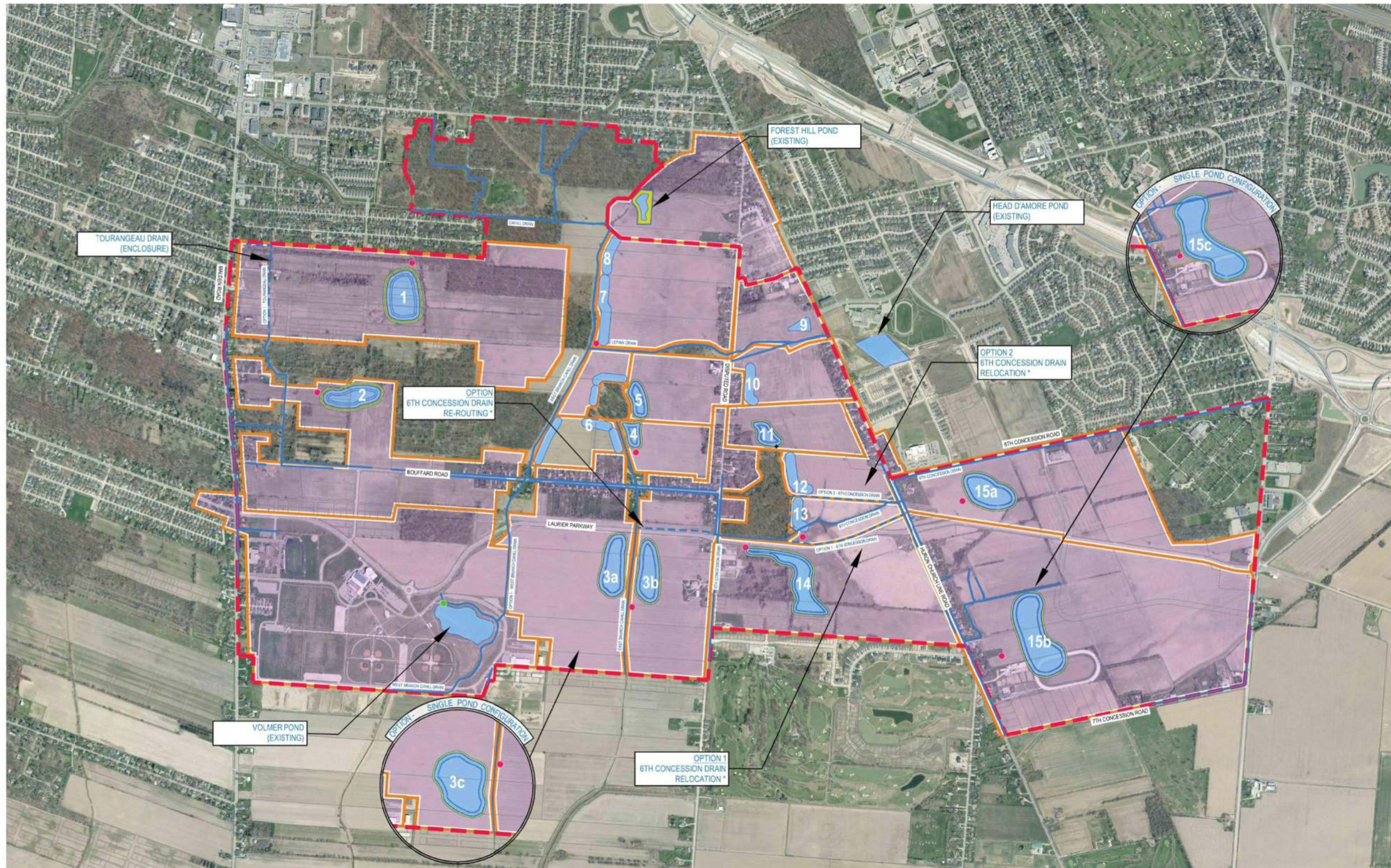


Legend

-  STUDY AREA
-  NATURAL ENVIRONMENT OVERLAY (EXISTING VEGETATION)
-  PROVINCIALY SIGNIFICANT WETLAND (PSW)
-  SIGNIFICANT TERRESTRIAL FEATURE
-  RESTORATION OPPORTUNITY (PRIMARY)
-  RESTORATION OPPORTUNITY (SECONDARY)

STORMWATER PONDS

Class EA Addendum and Planning Approvals - Integrated Approach



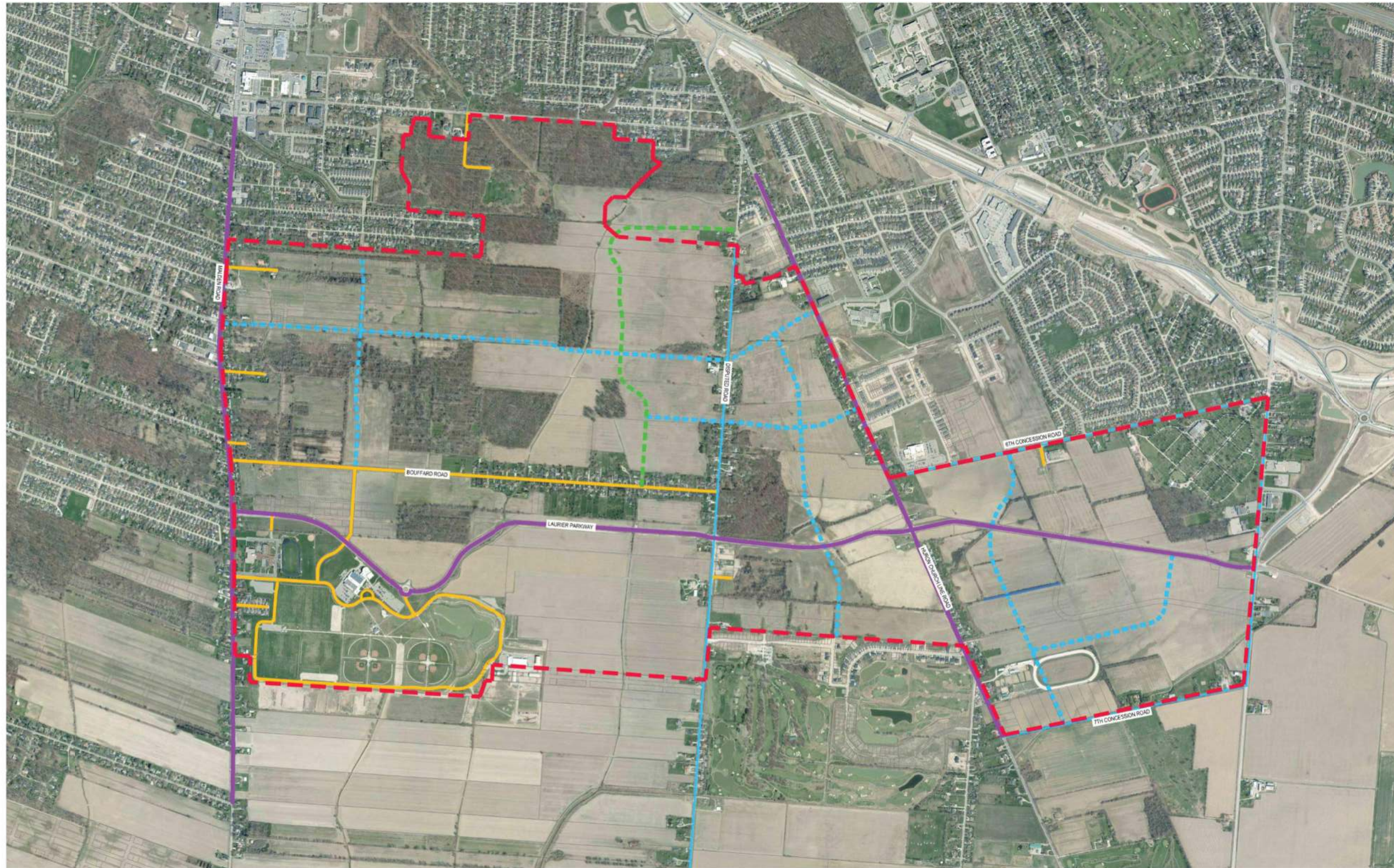
Legend

- STUDY AREA
- MUNICIPAL DRAIN ALIGNMENT
- OPTION FOR NEW DRAIN ALIGNMENT
- PROPOSED DRAINAGE BOUNDARY
- PROPOSED POND
- PROPOSED LINEAR FACILITY
- EXISTING PUMP STATION
- PROPOSED PUMP STATION



Pond locations and drainage area boundaries are currently being evaluated.

ROAD NETWORK

Class EA Addendum and Planning Approvals - Integrated Approach



Legend

-  STUDY AREA
-  EXISTING LOCAL ROAD
-  EXISTING ARTERIAL ROAD
-  EXISTING COLLECTOR ROAD
-  PROPOSED ARTERIAL ROAD
-  PROPOSED COLLECTOR ROAD
-  PROPOSED ALIGNMENT:
LASALLE WOODS BOULEVARD







Identification of future
collector roads and
arterial roadways.

EXISTING SERVICE INFRASTRUCTURE

Class EA Addendum and Planning Approvals - Integrated Approach

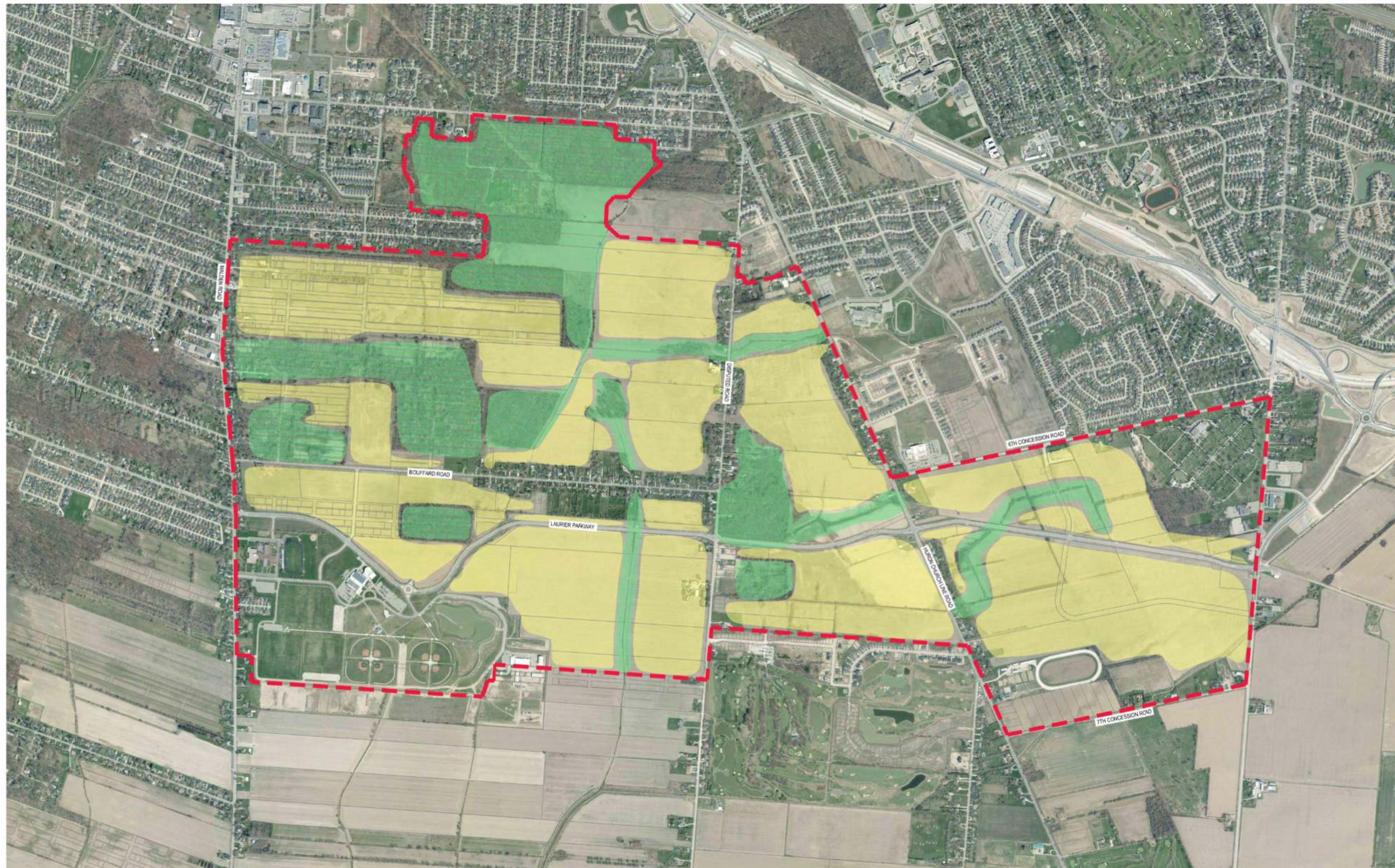


Legend




-  STUDY AREA
-  EXISTING TRUNK SANITARY SEWER
-  EXISTING TRUNK STORM SEWER
-  EXISTING WATERMAIN
-  EXISTING STORM PUMP STATION
-  EXISTING SANITARY PUMP STATION

POTENTIAL DEVELOPMENT AREAS

Class EA Addendum and Planning Approvals - Integrated Approach



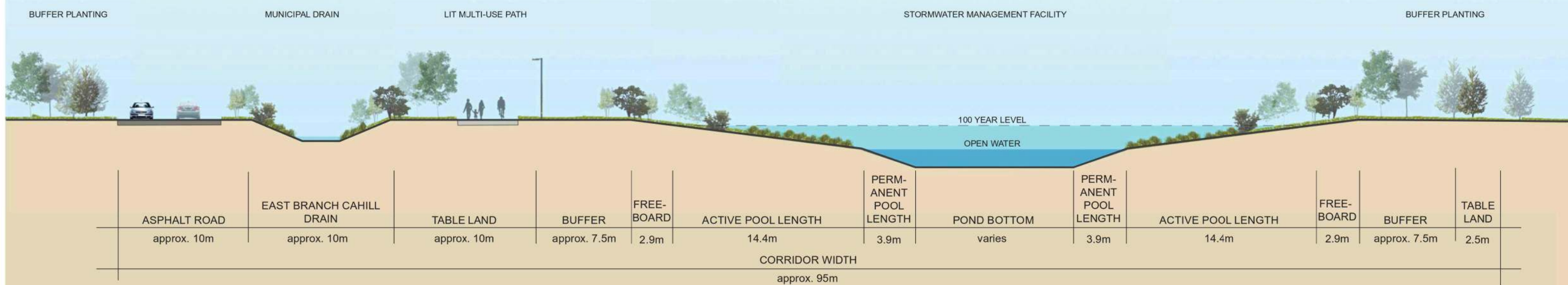
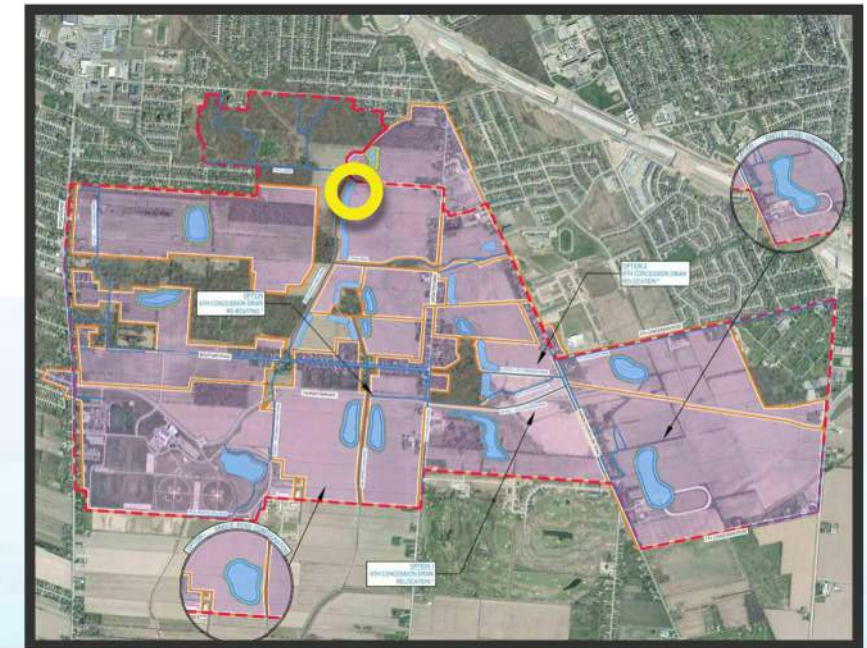
Legend

-  STUDY AREA
-  HIGH DEVELOPMENT POTENTIAL AREA
-  LOW DEVELOPMENT POTENTIAL AREA

ILLUSTRATIVE CROSS SECTIONS

Class EA Addendum and Planning Approvals - Integrated Approach

East Branch Cahill Drain Cross Section See Pond #8



ILLUSTRATIVE CROSS SECTIONS

Class EA Addendum and Planning Approvals - Integrated Approach

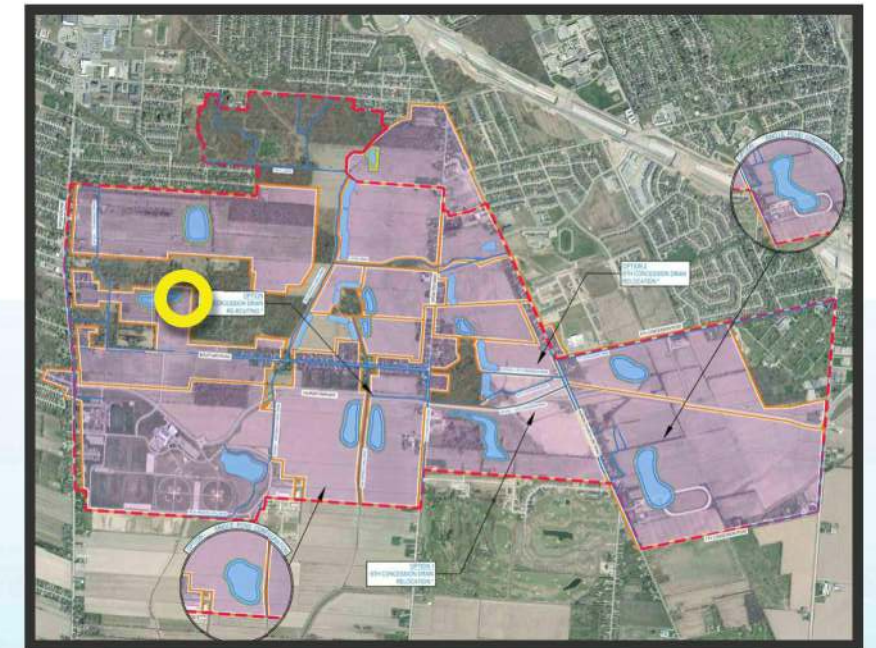
West Cahill Branch Drain Cross Section See Pond #4



ILLUSTRATIVE CROSS SECTIONS

Class EA Addendum and Planning Approvals - Integrated Approach

Pond #2 Cross Section



STORMWATER MANAGEMENT FACILITY

ROADSIDE / TRAILSIDE LANDSCAPE

LIT MULTI-USE PATH

BUFFER PLANTING

100 YEAR LEVEL

OPEN WATER

POND BOTTOM

varies

PERM-
ANENT
POOL
LENGTH

3.9m

ACTIVE POOL LENGTH

16m

FREE-
BOARD

2.9m

NATURAL LANDSCAPE BUFFER

varies

ASPHALT
TRAIL

approx.
4m

BOUL-
EVARD

approx.
3m

ROADWAY

approx. 14m

TOTAL LENGTH

approx 105m

NEXT STEPS

Class EA Addendum and Planning Approvals - Integrated Approach

2016

JUNE

JULY

AUGUST

SEPTEMBER

View and respond to
Comments received at
PIC#1



Evaluate Alternatives
and Develop a
Recommended Strategy



Public Information
Centre 2



Environmental
Assessment
Documentation



Public Review of EA
Report



Draft Plans of
Subdivision and Zoning
Amendments



Thank You For Attending!

Your input is important to the
outcome of this project.

Please complete a comment form
and return it by:

June 17, 2016

*Personal information collected and recorded at the
Public Information Centre or submitted in writing on this
subject is collected under the authority of the Municipal
Act, 2011 and will be used by members of Council and
Town of LaSalle staff in their review of this matter. With
the exception of personal information, all comments will
become part of the public record.*

**Town of LaSalle: Bouffard and Howard Planning Area
Class Environmental Assessment Addendum and Planning Act Approvals**

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Name: _____

Mailing Address: _____

I/we prefer to receive information by email.

E-mail: _____ *discussion w Sabrina*

Comments/ Questions/ Concerns (Use back if more space needed):

*Existing aquifer baskeyards along Disputed - east - along
longer lots - standing water, woodlot / bush behind
properties*

Please deposit this form in the comment box or return by **June 17, 2016** to:

Dillon Consulting Limited
3200 Deziel Drive, Suite 608
Windsor, Ontario, N8W 5K8

Tel: 519-948-5000, extension 3227
Fax: 519-948-5054
E-mail: ktanner@dillon.ca

Attention: Karl Tanner, MCIP, RPP



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Mailing Address: _____

I/we prefer to receive information by email.

E-mail: _____ *discussion w Sabine*

Comments/ Questions/ Concerns (Use back if more space needed):

Ponding SW along Huron Church - NW of pond 15b - current issues w water when it rains

5290 - same issues

5300 - same issues

5310 Huron Church Line

5320 - same issues

1.5 ft diff. elevation

- will property lines be straightened @ the rear

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• Aquatic / canoe "trails"

↳ using swim ponds for recreational use

• 6th Conc Brain realignment
↳ can it be a pipe

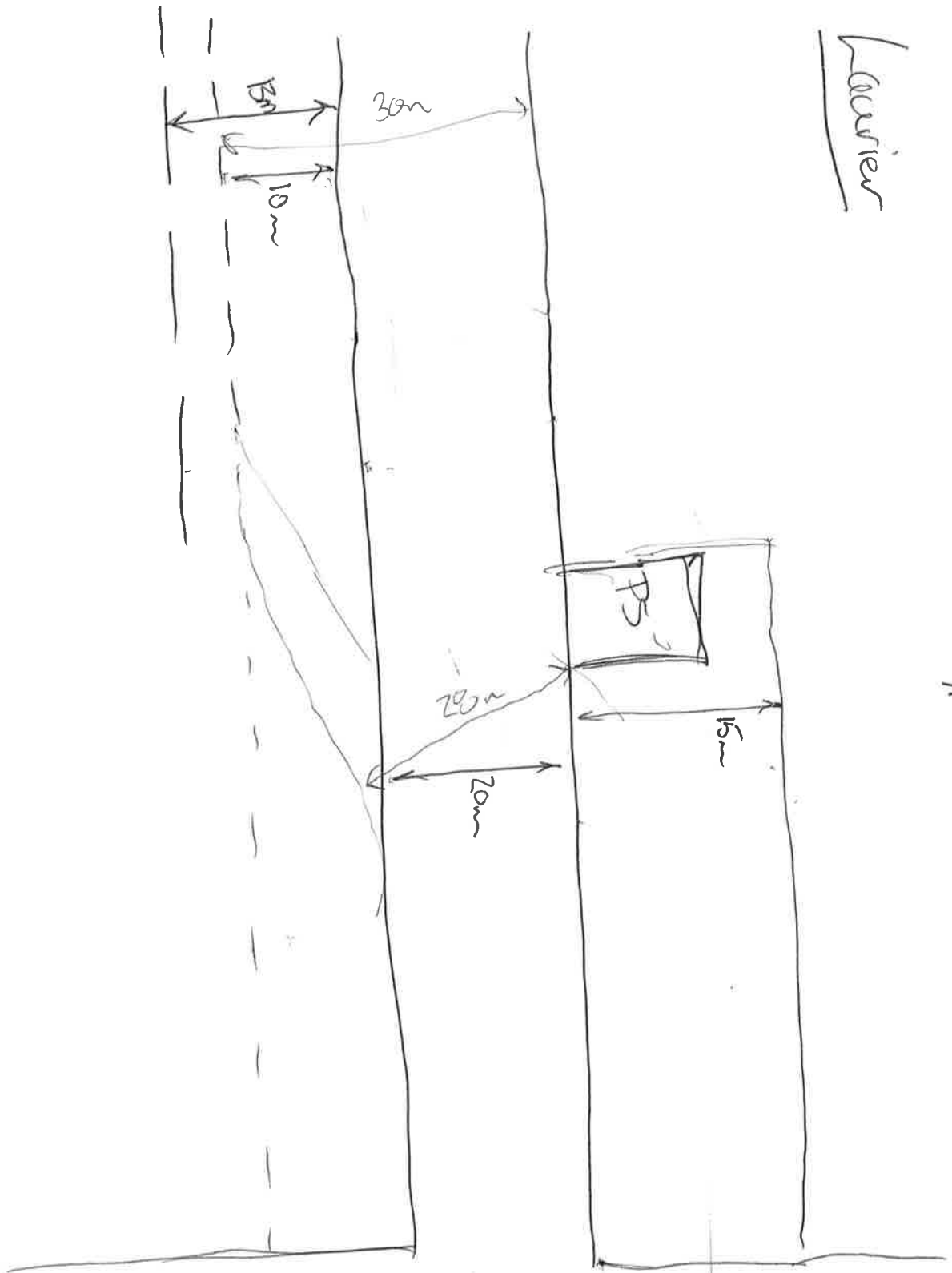


• Resident along HCL (5310 HCL) → 5320
5300 } same problem
5290 }
- floods currently
- "maudy" area behind him → 1 1/2 ft diff.

* pond location key *

- property boundary at back, has letter/or was told that a straight back line would be struck across all properties
- septic beds overflowing into drains

Laurier



~~Disputed~~

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Name: _____

Mailing Address: _____

I/we prefer to receive information by email.

E-mail: _____

Comments/ Questions/ Concerns (Use back if more space needed):

Property along Bouffard Road
- up for sale -> interested in receiving offer
- 2B

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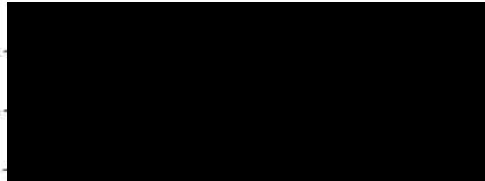
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Name:

Mailing Address:



I/we prefer to receive information by email.

E-mail: _____

Comments/ Questions/ Concerns (Use back if more space needed):

Who is developing first?

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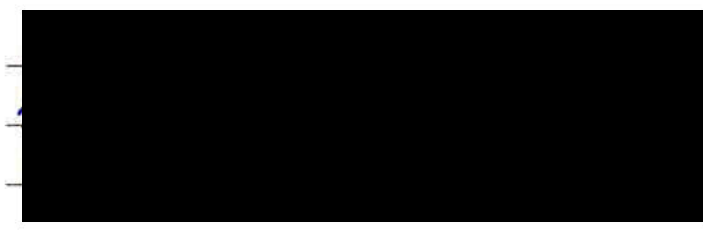
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Name: _____

Mailing Address: _____



I/we prefer to receive information by email.

E-mail: _____

Comments/ Questions/ Concerns (Use back if more space needed):

- Sewer extension along Munson Church Lane Road
- Utility located along Munson C - L. - who?

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Name:

Mailing Address:

[Redacted Name and Mailing Address]

[Redacted Address Line]

I/we prefer to receive information by email.

E-mail: _____

Comments/ Questions/ Concerns (Use back if more space needed):

- Drainage / flooding currently in back yard.
- Ponds - mosquito habitats? - attract

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Name:

Mailing Address:



I/we prefer to receive information by email.

E-mail:



Comments/ Questions/ Concerns (Use back if more space needed):

- Send copy of COT tomorrow
- not currently designated as national heritage in OP
- ~~low~~ high restoration potential in FR NRS
- lots 413 → 430

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Name: _____

Mailing Address: _____

I/we prefer to receive information by email.

E-mail: _____

Comments/ Questions/ Concerns (Use back if more space needed):

What if my lots on Holinger turn to be located
in a green/preserved space, who will take care of
compensation (if any)? will it be a deal between
city of LaSelle and any developer?

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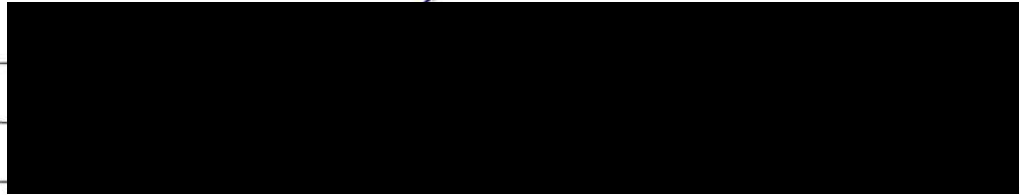
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Land is higher over 1 foot.

1. Floods? Run offs.
2. Ditch Run? Culverts?
3. Land slope backyard?
4. Big drain - Will it be extended?
5. easement & temporary ditch
6. Overall - How its' going to affect us?
7. Not every house received a letter regarding this issue.
8. Do we get alleys?
9. Will houses or factories be built?
10. Will there be a park or school?
11. Will there be a fence to block the noise (from new roads)
12. Will there be a problem with electricity?
(eg: sump pumps)

Town of LaSalle: Bouffard and Howard Planning Area
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Name:

Mailing Address:

[Redacted Name and Mailing Address]

I/we prefer to receive information by email.

E-mail:

[Redacted E-mail Address]

Comments/ Questions/ Concerns (Use back if more space needed):

Owns land that is designated §30 lots 349-360
in the natural heritage area, South of Bouffard.
low development potential.
Would like to sell/develop the land ~~but can't~~
~~because of the natural heritage area.~~
Need to figure out how to get
some some compensation for people losing their
land.

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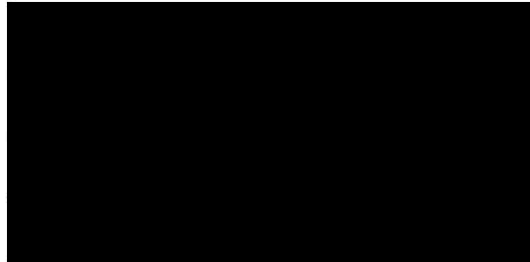
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Name:

Mailing Address:



I/we prefer to receive information by email.

E-mail: _____

Comments/ Questions/ Concerns (Use back if more space needed):

KEEP US UPDATED.

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Name:

Mailing Address:

[Redacted Name and Mailing Address]

I/we prefer to receive information by email.

E-mail:

[Redacted E-mail Address]

Comments/ Questions/ Concerns (Use back if more space needed):

Just want to know what is going on with the area?

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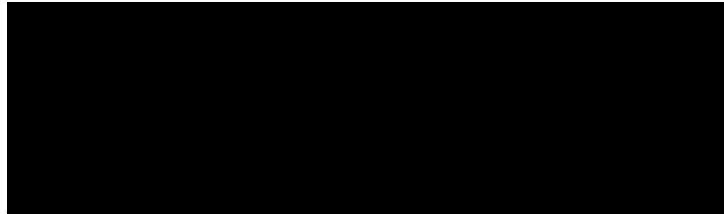
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Mailing Address:



I/we prefer to receive information by email.

E-mail: _____

Comments/ Questions/ Concerns (Use back if more space needed):

Interested in the cost of connecting to sewers & the cost to me. Sewers are all around us. How is all this new development going to affect our taxes?

Please deposit this form in the comment box or return by **June 17, 2016** to:

Dillon Consulting Limited
3200 Deziel Drive, Suite 608
Windsor, Ontario, N8W 5K8

Tel: 519-948-5000, extension 3227
Fax: 519-948-5054
E-mail: ktanner@dillon.ca

Attention: Karl Tanner, MCIP, RPP



**Town of LaSalle: Bouffard and Howard Planning Area
Class Environmental Assessment Addendum and Planning Act Approvals**

**Public Information Centre – June 17, 2016
Comment Form**

Please complete this form and return it to Dillon Consulting Limited. Information will be collected in accordance with Ontario's *Municipal Freedom of Information and Protection of Privacy Act*. With the exception of personal information all comments will become part of the public record.

Name:

Mailing Address:

[Redacted Name and Address]

I/we prefer to receive information by email.

E-mail: _____

Comments/ Questions/ Concerns (Use back if more space needed):

Own property on future variant street 484
crosses with Dunkirk Avenue (future)
Listed as low development potential, however
would like to develop land in the future.
would like to develop the land.

Please deposit this form in the comment box or return by **June 17, 2016** to:

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Name:

Mailing Address:

[Redacted area for Name and Mailing Address]

I/we prefer to receive information by email.

E-mail: _____

Comments/ Questions/ Concerns (Use back if more space needed):

2005 TRUNK SEWER Design Shows
The Trunk sewer behind current residents
on Disputed Rd. Should the TRUNK Sewer
Run down Disputed Rd as it is the high
Point of a ridge. Then it would service
the current residents of Disputed
& Bouffard.

Please deposit this form in the comment box or return by **June 17, 2016** to:

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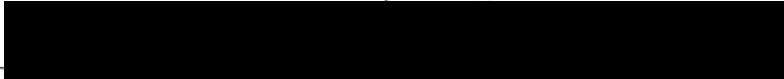
Name: _____

Mailing Address: _____



I/we prefer to receive information by email.

E-mail: _____



Comments/ Questions/ Concerns (Use back if more space needed):

~~Re~~ Sanitary Sewer servicing of the current residents on Disputed Rd & Bouffard Rd. within the planning area.

Please deposit this form in the comment box or return by **June 17, 2016** to:

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Name: _____

Mailing Address: _____

I/we prefer to receive information by email.

E-mail: _____

Comments/ Questions/ Concerns (Use back if more space needed):

Why are there (5) roads existing and planned feeding into or cross thru the 4th concession within 1/2 mile ~~is left length~~ of a 1 mile long road? Is this necessary & will a traffic study be completed before *development begin?*

Please deposit this form in the comment box or return by **June 17, 2016** to:

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Tel: 519-948-5000, extension 3227
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Name: _____

Mailing Address: _____

I/we prefer to receive information by email.

E-mail: _____

Comments/ Questions/ Concerns (Use back if more space needed):

Down Centre District!
What is the kind of development being defined?
- Business Park - Definition
- Employment Lands Definition
- Why are a Business Park & Town Centre planned south of 6th concession surrounded by a residential area?

Please deposit this form in the comment box or return by **June 17, 2016** to:

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Name: _____

Mailing Address: _____

I/we prefer to receive information by email.

E-mail: _____

Comments/ Questions/ Concerns (Use back if more space needed):

We are concerned that we are still on septic system. Developments are and are going to be put up around us yet no consideration seems to be for the existing homes in that area. Peter Marra explained the situation but we still want sewers in our area to be a top priority.

Thank-you,

Please deposit this form in the comment box or return by **June 17, 2016** to:

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Name:

Mailing Address:

[Redacted Name and Mailing Address]

I/we prefer to receive information by email.

E-mail:

[Redacted E-mail Address]

Comments/ Questions/ Concerns (Use back if more space needed):

WOULD LIKE PDF OF EIA BY
EMAIL.

Please deposit this form in the comment box or return by **June 17, 2016** to:

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Attention: Karl Tanner, MCIP, RPP



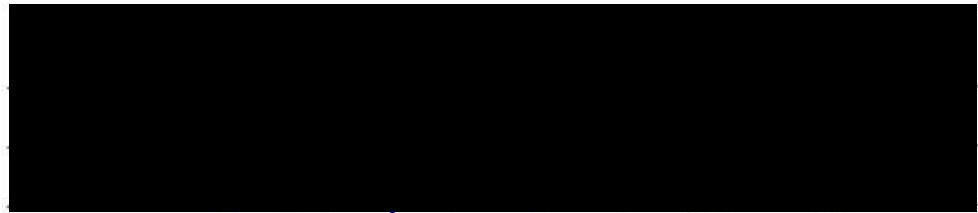
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Name:

Mailing Address:



I/we prefer to receive information by email.

E-mail:

Comments/ Questions/ Concerns (Use back if more space needed):

QUESTIONS WERE ANSWERED
VERY WELL,
MY CONCERNS WAS THE CLEANING
OUT OF DITCHES, AND ELEVATION
OF CULVERTS, IN SOME DRIVEWAYS
WHICH I HAVE, 30" CULVERTS.
OTHERS HAVE SUNK- AND RESTRICTED WATER
FLOW

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Attention: Karl Tanner, MCIP, RPP

THANK YOU

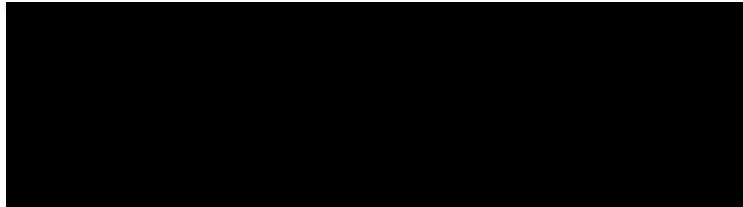
Town of LaSalle: Bouffard and Howard Planning Area
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Name:

Mailing Address:



I/we prefer to receive information by email.

E-mail:



Comments/ Questions/ Concerns (Use back if more space needed):

- Lot union / Town Center destruit what does it mean for development ~~effect property owner~~ & how does this effect ~~property~~ owners
- How does Low development potential get treated / if remain NHA
- What Compensation from municipality
- Give new lot - ie Land swap for developable pot of land

Please deposit this form in the comment box or return by **June 17, 2016** to:

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Town of LaSalle: Bouffard and Howard Planning Area
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Name: _____

Mailing Address: _____

Page 2 of 2

I/we prefer to receive information by email.

E-mail: _____

Comments/ Questions/ Concerns (Use back if more space needed):

- What happens to value of property
if it becomes NAA?

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Fax: 519-948-5054
E-mail: ktanner@dillon.ca

Attention: **Karl Tanner, MCIP, RPP**



Public Information Centre

A public information centre will be held June 6, 2016 to introduce the study and receive initial feedback from local residents, landowners and agencies.

Notification of date, time, and location will be sent to the public before Public Information Centre #2 is held to deal with the Part 1 workplan.

Public Information Centre #1	
Date:	June 6, 2016
Time:	4:00pm - 8:00pm
Location:	Vollmer Complex, 2121 Laurier Drive, LaSalle
Format:	Open house/drop-in format with staff available to answer questions

Further Public Notice will be posted following the completion of Part 1 and will focus on the Planning Act Applications.

Public Comments Invited

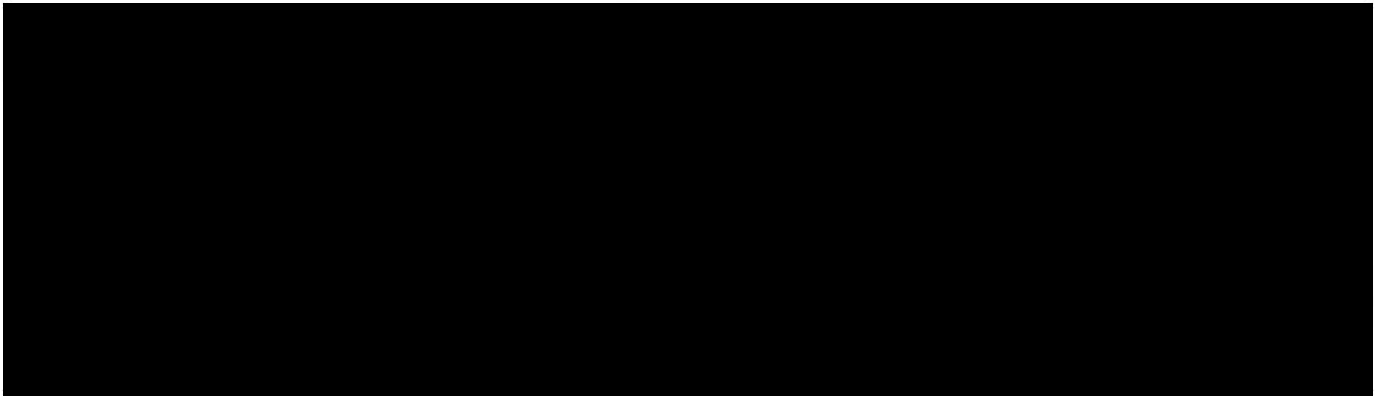
At any time during this study, interested persons have an opportunity to provide comments, questions and concerns to the study team at the contact below.

Information collected for the study will be used in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*. With the exception of personal information, such as name, address and property location, all comments received throughout the study will become part of the public record and included in project documentation.

For further information or to provide comments or to be added to the mailing list, please contact:

Karl Tanner, MCIP RPP
Project Manager
Dillon Consulting Limited
3200 Deziel Drive Suite 608, Windsor, ON, N8W 5K8
Tel: 519.948.5000 ext. 3227
Email: ktanner@dillon.ca

Larry Silani, MCIP RPP
Director of Development & Strategic Initiatives
Town of LaSalle
5950 Malden Road, LaSalle, ON N9H 1S4
Tel: 519.969.7770 ext. 1288
Email: lsilani@town.lasalle.on.ca



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Project Manager
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3200 Deziel Drive Suite 608, Windsor, ON, N8W 5K8
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Larry Silani, MCIP RPP
Director of Development & Strategic Initiatives
Town of LaSalle
5950 Malden Road, LaSalle, ON N9H 1S4
Tel: 519.969.7770 ext. 1288
Email: lsilani@town.lasalle.on.ca

- 
1. Alma N/S, LaSalle, ON Plan 853, Lots 1119 + 1120
 2. Hollinger Ave, N/S LaSalle, Plan 734, Lots 341 + 342
 3. Huron St. N/S LaSalle, Plan 650; Lots 332 + 333
 4. Kitchener Ave. N/S LaSalle Plan 1001, Lots 191 + 192
 5. Marne St. LaSalle Plan 882, Lot 9
 6. Pitkin Ave. LaSalle, Plan 780, Lots 74 + 75
 7. Washington Blvd S/S Plan 963, Lots 151, 152 Pt Bk B + Closed Alley
 8. Washington Blvd, N/S, Plan 963, Lot 290



— Lots - Disputed + Vollmer (surrounded by streets)



White, Harry <hwhite@dillon.ca>

Re: Bouffard and Howard Planning Area, LaSalle Municipal Class EA

5 messages

Tanner, Karl <ktanner@dillon.ca>

9 June 2016 at 17:38

To: "[REDACTED] Harry White <hwhite@dillon.ca>

Cc: "Isilani@town.lasalle.on.ca" <Isilani@town.lasalle.on.ca>, Sabrina Stanlake-Wong <SStanlake@dillon.ca>, Allen Burgess <aburgess@town.lasalle.on.ca>

[REDACTED]

Thanks for connecting.

We will forward a PDF copy of the presentation boards to you via email.

Regards

Karl



Karl Tanner MCIP RPP
Partner
Dillon Consulting Limited
3200 Deziel Drive Suite 608
Windsor, Ontario, N8W 5K8
T - 519.948.4243 ext. 3227
F - 519.948.5054
M - 519.791.2168
KTanner@dillon.ca
www.dillon.ca

Please consider the environment before printing this email

On Tue, Jun 7, 2016 at 10:56 AM, [REDACTED] > wrote:

Hello Karl Tanner:

I was unable to attend yesterday's Public information Centre for the above project: would you be able to point me to where I may find the presentation material online or point me to an FTP site to download it (or send it to me via email)? I took a look at the LaSalle website and found the Bouffard and Howard comprehensive zoning document, but don't see any PIC material. Thank-you in advance for your assistance,

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED] 7

[REDACTED]

To: [REDACTED]
Cc: "Tanner, Karl" <ktanner@dillon.ca>, 163470 <163470@dillon.ca>

[REDACTED]
Please find attached a PDF copy of the presentation material from the meeting on Monday June 6th.
Please contact us if you have any follow up questions.
Regards
Harry White

[Quoted text hidden]

--



Harry White
Dillon Consulting Limited
3200 Deziel Drive Suite 608
Windsor, Ontario, N8W 5K8
T - 519.948.5000 ext. 3217
F - 519.948.5054
HWhite@dillon.ca
www.dillon.ca

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 Presentation Package PIC#1 06-06-16.compressed.pdf
12525K

13 June 2016 at 13:14

To: "White, Harry" <hwhite@dillon.ca>
Cc: "ktanner@dillon.ca" <ktanner@dillon.ca>

Thank-you Harry: received in good order, and much appreciated. Take care,

[REDACTED]

[REDACTED]

[REDACTED]

From: White, Harry [mailto:hwhite@dillon.ca]
Sent: June 13, 2016 9:14 AM
To: [REDACTED]
Cc: Tanner, Karl; 163470
Subject: Re: Bouffard and Howard Planning Area, LaSalle Municipal Class EA

[REDACTED]

Please find attached a PDF copy of the presentation material from the meeting on Monday June 6th.

Please contact us if you have any follow up questions.

Regards

Harry White

On 9 June 2016 at 17:38, Tanner, Karl <ktanner@dillon.ca> wrote:

█

Thanks for connecting.

We will forward a PDF copy of the presentation boards to you via email.

Regards

Karl

Karl Tanner MCIP RPP
Partner
Dillon Consulting Limited
3200 Deziel Drive Suite 608
Windsor, Ontario, N8W 5K8
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www.dillon.ca



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█

█

█

--

Harry White
Dillon Consulting Limited
3200 Deziel Drive Suite 608
Windsor, Ontario, N8W 5K8
T - 519.948.5000 ext. 3217
F - 519.948.5054
HWhite@dillon.ca
www.dillon.ca

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This message is directed in confidence solely to the person(s) named above and may contain privileged, confidential or private information which is not to be disclosed. If you are not the addressee or an authorized representative thereof, please contact the undersigned and then destroy this message.

Ce message est destiné uniquement aux personnes indiquées dans l'entête et peut contenir une information privilégiée, confidentielle ou privée et ne pouvant être divulguée. Si vous n'êtes pas le destinataire de ce message ou une personne autorisée à le recevoir, veuillez communiquer avec le soussigné et ensuite détruire ce message.

Tanner, Karl <ktanner@dillon.ca>
To: Harry White <hwhite@dillon.ca>

17 June 2016 at 14:27



70 years

Karl Tanner MCIP RPP
Partner
Dillon Consulting Limited
3200 Deziel Drive Suite 608
Windsor, Ontario, N8W 5K8
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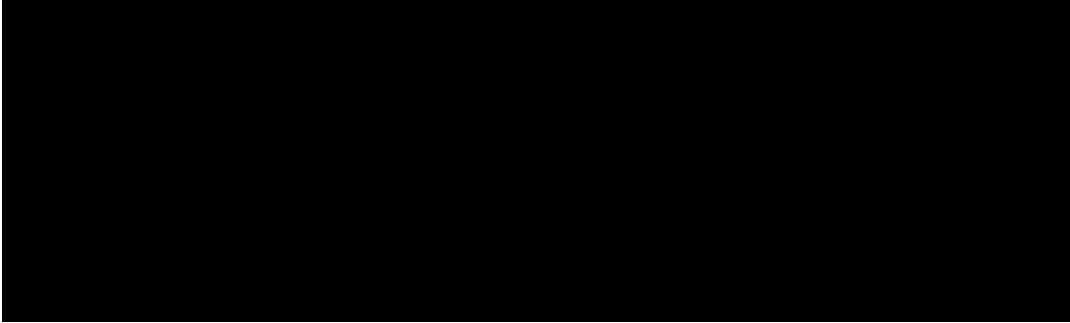
----- Forwarded message -----


From: [REDACTED]
Date: Fri, Jun 17, 2016 at 2:27 PM
Subject: Bouffard and Howard Planning Area, LaSalle Municipal Class EA
To: "Tanner, Karl" <ktanner@dillon.ca>
Cc: "Isilani@town.lasalle.on.ca" <Isilani@town.lasalle.on.ca>

Hello Karl Tanner:

Please find attached our comments from the Heritage Program Unit at the Ministry of Tourism, Culture and Sport on the above project, and contact me if you have any questions or would like to discuss the file. Thank-you for your assistance,

Joe



 LaSalle Bouffard-Howard PAs 2016-06-17 HPU MTCS commnets.pdf
97K

Tanner, Karl <ktanner@dillon.ca> 20 June 2016 at 13:29
To: Larry Silani <lsilani@town.lasalle.on.ca>, Sabrina Stanlake-Wong <SStanlake@dillon.ca>, Harry White <hwhite@dillon.ca>, Allen Burgess <aburgess@town.lasalle.on.ca>

Larry
Welcome back.
I was waiting for your return on this one
We can have Sabrina provide a response.
This comes up on all the EA's.
Regards
Karl



Karl Tanner MCIP RPP
Partner
Dillon Consulting Limited
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KTanner@dillon.ca
www.dillon.ca

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----- Forwarded message -----
From: Larry Silani <lsilani@town.lasalle.on.ca>
Date: Mon, Jun 20, 2016 at 10:47 AM
Subject: FW: Bouffard and Howard Planning Area, LaSalle Municipal Class EA
To: "Tanner, Karl" <ktanner@dillon.ca>

Hi Karl:

What are your thoughts on the attached correspondence?

Larry

From: [REDACTED]
Sent: June 17, 2016 2:27 PM
To: Tanner, Karl <ktanner@dillon.ca>
Cc: Larry Silani <lsilani@town.lasalle.on.ca>
Subject: Bouffard and Howard Planning Area, LaSalle Municipal Class EA

Hello Karl Tanner:

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Joe

[REDACTED]

[REDACTED]

[REDACTED]


[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

 LaSalle Bouffard-Howard PAs 2016-06-17 HPU MTCS commnets.pdf
97K



White, Harry <hwhite@dillon.ca>

Fwd: Comments | Bouffard and Howard Planning Area

Tanner, Karl <ktanner@dillon.ca>

25 July 2016 at 13:27

To: Harry White <hwhite@dillon.ca>, Larry Silani <lsilani@town.lasalle.on.ca>, "Stanlake, Sabrina" <SStanlake@dillon.ca>



Karl Tanner MCIP RPP
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Vacation Alert: I will be away from the office from August 19th and returning August 29th, 2016

----- Forwarded message -----

From: [REDACTED]
Date: Fri, Jul 22, 2016 at 5:45 PM
Subject: Comments | Bouffard and Howard Planning Area
To: Karl Tanner <KTanner@dillon.ca>
Cc: Mark Winterton ICE <mwinterton@citywindsor.ca>

Hi Karl,

Hope you are well. I received the Notice for the upcoming PIC session next week and hope to see you there. As promised, I wanted to follow up in writing with my comments.

First, thank you for the opportunity to participate in the planning process for the Bouffard and Howard Planning Area. Our main concerns relate to the location and configuration of the storm detention pond, the planning designations of the land and servicing sequence. We reviewed the information presented at the Public Information Center with you and as you had suggested, we may wish to work with the existing ownership group to facilitate our involvement in the Planning process.

If possible, kindly include me in any future correspondence or meeting opportunities.

Thanks again for your assistance. Have a great weekend.

Kind regards,

[REDACTED]

[REDACTED]

This information is transmitted on a "WITHOUT PREJUDICE" basis. It is intended only for the person or entity to which it is addressed and may contain confidential and/or privileged material. Any review, retransmission, dissemination or other use of, or taking of any action in reliance upon, this information by persons or entities other than the intended recipient is prohibited. If you received this in error, please contact the sender and delete the material from any computer.



White, Harry <hwhite@dillon.ca>

Fwd: FW: Bouffard & Howard Planning Area

Tanner, Karl <ktanner@dillon.ca>

25 July 2016 at 13:37

To: Harry White <hwhite@dillon.ca>, "Stanlake, Sabrina" <SStanlake@dillon.ca>



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Partner
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----- Forwarded message -----

From: Larry Silani <lsilani@town.lasalle.on.ca>

Date: Tue, Jul 19, 2016 at 3:02 PM

Subject: FW: Bouffard & Howard Planning Area

To: "Tanner, Karl" <ktanner@dillon.ca>

Hi Karl... can you copy me on your response.. thanks

From: [REDACTED]
Sent: July 18, 2016 3:18 PM
To: ktanner@dillon.ca; Larry Silani <lsilani@town.lasalle.on.ca>
Subject: RE: Bouffard & Howard Planning Area

Hello Mr. Tanner & Mr. Silani,

My family owns property in the impending development but unfortunately we are unable to attend any of the meetings that are scheduled or have been scheduled in the past. My [REDACTED] own a number of the lots and my grandmother has asked me to get in contact in regards to information for the property. I did see in the latest letter sent out that we could be added to a mailing list and was looking to see clarification in regards to if it is email or the current letter mail we are enrolled in.

Our family has had the property since the 70's and look forward to the opportunity to find out when the lots will be available for service and building.

I look forward to your response,

Thank You

--

[REDACTED]
[REDACTED]
[REDACTED]



White, Harry <hwhite@dillon.ca>

Fwd: Bouffard and Howard Planning Area

Tanner, Karl <ktanner@dillon.ca>

25 July 2016 at 13:35

To: Harry White <hwhite@dillon.ca>, Larry Silani <lsilani@town.lasalle.on.ca>, "Stanlake, Sabrina" <SStanlake@dillon.ca>



Karl Tanner MCIP RPP
Partner
Dillon Consulting Limited
3200 Deziel Drive Suite 608
Windsor, Ontario, N8W 5K8
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M - 519.791.2168
KTanner@dillon.ca
www.dillon.ca

Please consider the environment before printing this email

Vacation Alert: I will be away from the office from August 19th and returning August 29th, 2016

----- Forwarded message -----

From: [REDACTED]
Date: Tue, Jul 19, 2016 at 3:53 PM
Subject: Bouffard and Howard Planning Area
To: ktanner@dillon.ca
Cc: lsilani@town.lasalle.on.ca, mdeane@kwlegal.com

Karl,

My husband, [REDACTED] and I own the following land which I believe may be located in the Planning Area:

Valiant Street NS (Plan 779 Lots 197 to 208);

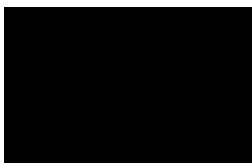
Valiant Street SS (Plan 779 Lots 184 to 196);

Vivian Avenue WS (Plan 660 Lots 330 to 339)

We are in receipt of your Notice of Public Information Centre No. 2. We would be grateful if you can forward to my attention (electronically) any material or reports you have with respect to this matter to date and would ask that future reports on this area also be forwarded via email.

Feel free to contact me via this email address

Regards



Appendix D

Public Information Centre #2

- Notice of Commencement and PIC

- Mailing List

- Attendance Sheet

- Presentation Package

- Comments

Town of LaSalle: Bouffard and Howard Planning Area Class Environmental Assessment Addendum and Planning Act Approvals

Notice of Public Information Centre No. 2

Dillon Consulting Limited has been retained to amend the existing Bouffard and Howard Class EA Reports and prepare plans to allow for the development of the Bouffard and Howard Planning Area, in the Town of LaSalle. The study area is shown in the map below. The Town of LaSalle has studied the feasibility to developing this area for several years and has invested in infrastructure in the area, including constructing Laurier Parkway. At this time, several local landowners have retained Dillon Consulting Limited to work with the Town of LaSalle and with provincial and regional agencies, to review and update the existing Class EA and to obtain corresponding Planning Act approvals.

An addendum is being prepared to two previous Class Environmental Assessment (EA) studies:

- Bouffard and Howard Planning Districts Master Servicing Study (2002)
- Bouffard and Howard Planning Districts Functional Design Study (2005).

Both studies were completed following the requirements of the Municipal Class EA for Schedule B undertakings. The purpose of the EA Addendum is to review and update both reports and prepare one comprehensive plan for the study area. The EA Addendum will be completed following the Integrated Approach outlined in the Municipal Class EA (2000, as amended) and will include obtaining Planning Act approvals at the same time as the EA approval.

In general, the addendum will focus on:

Part 1

- Revisions to drainage area boundaries, including revision to the number and location of stormwater ponds shown in the 2005 study.
- Confirm the location and size of the trunk storm sewers, trunk sanitary sewers and locations of collector and arterial roads.
- Confirm the location and size of natural environment areas and corridors.

Part 2

- Approval for a number of proposed developments in the area, including Draft Plans of Subdivision, Official Plan and Zoning By-law amendments.

Public Information Centre No. 2

A public information centre was held June 6, 2016 to introduce the project and provide background information on the study area. A variety of comments and questions were received from a number of interested land owners and residents in the area at PIC No.1.

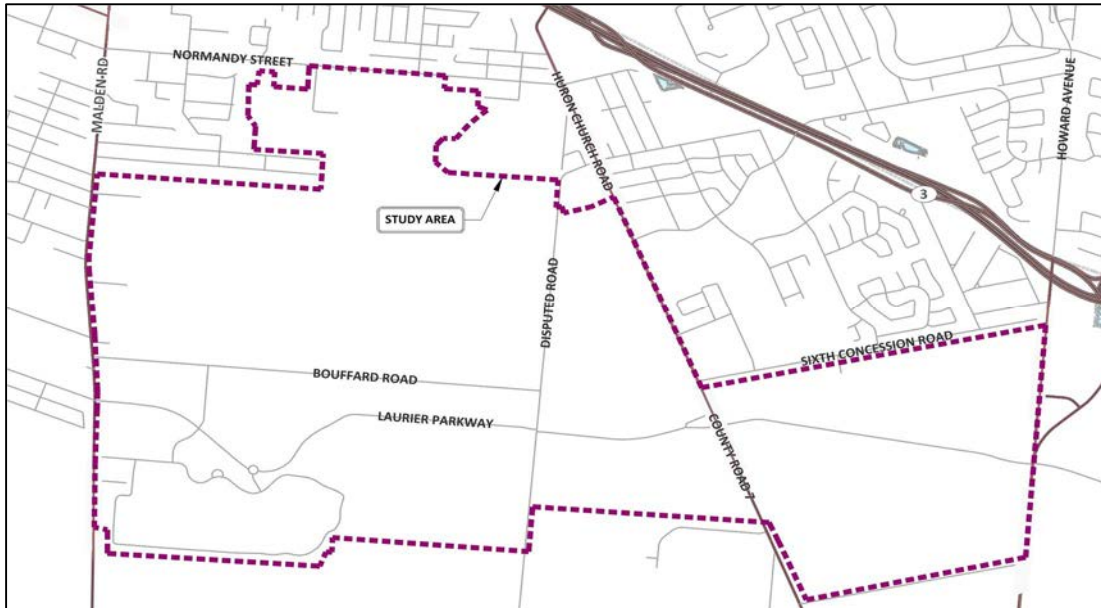
A second public information centre will be held July 27, 2016 to provide an update on the project progress, answer questions raised at PIC No. 1 and outline the steps required to finalize the report in August 2016. We will provide additional information on the Planning process that leads to development in LaSalle and the various approvals required. We will also provide anticipated phasing for the trunk services and stormwater management ponds. Display material will be similar to that presented at PIC No.1, with a greater emphasis on 'next steps' and proposed development and servicing configurations.

Public Information Centre #2	
Date:	July 27, 2016
Time:	4:00pm - 7:00pm
Location:	LaSalle Town Hall 5950 Malden Road LaSalle, Ontario
Format:	Open house/drop-in format with staff available to answer questions

Several conceptual development plans being prepared for the larger un-subdivided (existing farm) properties will be presented for public input. Phase 2 will see these conceptual plans be converted to Draft Plans of Subdivision.

If you own existing undeveloped lots on registered plans, it is anticipated that development will likely occur, notwithstanding taking into applicable legislation, as individual owners come together to form their own development groups work together to service their lands.

Further Public Notice will be posted regarding PIC No.3. Following that, the focus will shift to the Planning Act Applications.



Public Comments Invited

At any time during this study, interested persons have an opportunity to provide comments, questions and concerns to the study team at the contact below.

Information collected for the study will be used in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*. With the exception of personal information, such as name, address and property location, all comments received throughout the study will become part of the public record and included in project documentation.

For further information or to provide comments or to be added to the mailing list, please contact:

Karl Tanner, MCIP RPP
Project Manager
Dillon Consulting Limited
3200 Deziel Drive Suite 608, Windsor, ON, N8W 5K8
Tel: 519.948.5000 ext. 3227
Email: ktanner@dillon.ca

Larry Silani, MCIP RPP
Director of Development & Strategic Initiatives
Town of LaSalle
5950 Malden Road, LaSalle, ON N9H 1S4
Tel: 519.969.7770 ext. 1288
Email: lsilani@town.lasalle.on.ca

[REDACTED]
16 ISLAND PARK CRT
LEAMINGTON ON N8H 5C9

[REDACTED]
3199 DOUGALL AVE
WINDSOR ON N9E 1S5

[REDACTED]
C/O 2985 DOUGALL AVE
WINDSOR ON N9E 1S1

[REDACTED]
5160 O'NEIL DR
OLDCASTLE ON NOR 1L0

[REDACTED] D
3495 VICTORIA BLVD
WINDSOR ON N9E 4J8

[REDACTED]
C/O 3199 DOUGALL AVE
WINDSOR ON N9E 1S5

[REDACTED]
ABALDO LUCIANA ELEONORA
468 LAPORTE AVE
WINDSOR ON N8S 3R2

[REDACTED]
2870 BOUFFARD RD
WINDSOR ON N9H 1W5

A [REDACTED]
2625 BOUFFARD RD
WINDSOR ON N9H 1W3

[REDACTED]
C/O 276 RUGGABER DR
WINDSOR ON N8N 4N8

[REDACTED]
2735 BOUFFARD RD
WINDSOR ON N9H 1W3

[REDACTED]
6740 DISPUTED RD
WINDSOR ON N9H 1Y1

[REDACTED]
745 MASSIMO CRES
WINDSOR ON N9G 3C7

[REDACTED]
2760 BOUFFARD RD
WINDSOR ON N9H 1W2

[REDACTED]
2628 NORTHWAY AVE
WINDSOR ON N9E 4N9

[REDACTED]
1540 NORMANDY ST
WINDSOR ON N9J 1Y1

[REDACTED]
9156 TECUMSEH RD E
WINDSOR ON N8R 1A2

[REDACTED]
PO BOX 1467 STN A
5245 HOWARD AVE
WINDSOR ON N9A 6R5

[REDACTED]
1715 KAVANAGH DR
WINDSOR ON N9N 4R3

[REDACTED]
1120 ELFRIEDE DR
WINDSOR ON N8X 5A1

[REDACTED]
4214 STAGECOACH AVE
BOX 11
WINDSOR ON N9G 2W8

[REDACTED]
12482 LANOUE ST
WINDSOR ON N8N 4S3

[REDACTED]
675 CABANA RD E
WINDSOR ON N9G 1A6

[REDACTED]
1294 KAMLOOPS ST
WINDSOR ON N8W 5V2

[REDACTED]
1621 RANDOLPH AVE
WINDSOR ON N9B 2V7

[REDACTED]
C/O LUCIA A ARNOLD
2137 NORTH 1ST AVE
BARRY IL 62312

[REDACTED]
3807 MONTCALM ST
WINDSOR ON N9C 2B1

[REDACTED]
800 PARKSIDE AVE
PITTSBURGH PA 15228

[REDACTED]
3035 BOUFFARD RD
WINDSOR ON N9H 1W4

[REDACTED]
6560 DISPUTED RD
WINDSOR ON N9H 1X9

[REDACTED]
[REDACTED]
2665 BOUFFARD RD
WINDSOR ON N9H 1W3

[REDACTED]
7870 BERNICE CRT
ROHNERT PARK CA 94928

[REDACTED]
[REDACTED]
6435 DISPUTED RD
WINDSOR ON N9H 1X8

[REDACTED]
4689 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
[REDACTED]
60 EVERETT RD
COBOCONK ON K0M 1K0

[REDACTED]
796 MONMOUTH RD
WINDSOR ON N8Y 3L2

[REDACTED]
C/O RR 3 STN A
1650 SEVENTH CON RD
WINDSOR ON N9A 6Z6

B [REDACTED]
[REDACTED]
[REDACTED]
2860 BOUFFARD RD
WINDSOR ON N9H 1W5

[REDACTED]
[REDACTED]
2955 BOUFFARD RD
WINDSOR ON N9H 1W4

[REDACTED]
1870 MEAGAN DR
WINDSOR ON N9J 3K7

[REDACTED]
PROPERTY TAX DEPARTMENT
PO BOX 86, STATION ST JACQUES
STATION K
MONTREAL QC H3C 1C5

[REDACTED]
113 MARLIN AVE
WINDSOR ON N8W 2B2

[REDACTED]
1311 HARVEST BEND RD
WINDSOR ON N9H 2B5

[REDACTED]
[REDACTED]
2496 DANDURAND BLVD
WINDSOR ON N9E 2C9

[REDACTED]
2635 BOUFFARD RD
WINDSOR ON N9H 1W3

[REDACTED]
4675 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
[REDACTED]
4755 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
406-3140 MEADOWBROOK LN
WINDSOR ON N8T 3M5

[REDACTED]
64 HAILEYBURY DR
SCARBOROUGH ON M1K 4X5

[REDACTED]
4585 HURON CHURCH LINE RD
WINDSOR ON N9H 1H3

[REDACTED]
[REDACTED]
1109 REGENCY CRES
SS 2
BELLE RIVER ON NOR 1A0

[REDACTED]
[REDACTED]
1939 CASTLETON AVE
WINDSOR ON N8P 1P6

[REDACTED]
[REDACTED]
4455 CHERRY HILL RD
WINDSOR ON N9G 2P5

[REDACTED]
6685 DISPUTED RD
WINDSOR ON N9H 1Y2

[REDACTED]
3040 BOUFFARD RD
WINDSOR ON N9H 1W5

[REDACTED]
[REDACTED]
479 CORBETT DR
WINDSOR ON N8N 4R6

[REDACTED]
119 SYLVANO CRES
WINDSOR ON N9K 1E4

[REDACTED]
[REDACTED]
935 ELSMERE AVE
WINDSOR ON N9A 2A8

[REDACTED]
33 TEXAS RD
AMHERSTBURG ON N9V 2R8

[REDACTED]
23243 HARVARD SHORE DR
CLINTON MI
USA 48035

[REDACTED]
[REDACTED]
C/O G PROVENZANO
1642 ST PATRICK'S AVE
WINDSOR ON N9B 3K6

[REDACTED]
[REDACTED]
4775 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
4569 LAKE GRANDE CRT
WINDSOR ON N9G 2R3

[REDACTED]
1347 HARVEST BEND RD
WINDSOR ON N9H 2B5

[REDACTED]
667 MCKAY AVE
WINDSOR ON N9B 1Z9

[REDACTED]
23121 COUNTRYVIEW FLAT
ROCK MI USA 48134

[REDACTED]
1830 MEAGAN DR
WINDSOR ON N9J 3K7

[REDACTED]
2540 MCKAY AVE
WINDSOR ON N9E 2P5

[REDACTED]
[REDACTED]
6660 DISPUTED RD
WINDSOR ON N9H 1Y1

[REDACTED]
[REDACTED]
515 KENWOOD ST
WINDSOR ON N9J 1R9

[REDACTED]
RR 3 STN A
1620 SIXTH CON RD
WINDSOR ON N9A 6Z6

[REDACTED]
[REDACTED]
6611 HUNT RD
W BLOOMFIELD MI 48324

[REDACTED]
[REDACTED]
2775 BOUFFARD RD
WINDSOR ON N9H 1W3

[REDACTED]
[REDACTED]
2915 BOUFFARD RD
WINDSOR ON N9H 1W4

[REDACTED]
12744 KIMBERLY DR
WINDSOR ON N8N 3N5

[REDACTED]
4795 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
226 FAIRWAY CRES
WINDSOR ON N8N 2Z1

[REDACTED]
2850 ACADEMY DR
WINDSOR ON N9E 2H1

[REDACTED]
[REDACTED]
4705 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
[REDACTED]
1298 FRONT RD N
RR 3
AMHERSTBURG ON N9V 3R3

[REDACTED]
RR 3 BOX 921
AMHERSTBURG ON N9V 3R3

[REDACTED]
20 BLOORVIEW PLACE
SUITE 1509
TORONTO ON M2J 0A6

[REDACTED]
[REDACTED]
2710 BOUFFARD RD
WINDSOR ON N9H 1W2

[REDACTED]
1157 ELSMERE AVE
WINDSOR ON N9A 2B1

[REDACTED]
6215 DISPUTED RD
WINDSOR ON N9H 1X6

[REDACTED]
4591 TIMBER TRAIL
WINDSOR ON N9G 2W4

[REDACTED]
25 SPORTSWORLD CROSSING RD
KITCHENER ON N2P 0A5

[REDACTED]
1865 MEAGAN DR
WINDSOR ON N9J 3K7

[REDACTED]
[REDACTED]
116 REMO CRES
RR 4
BELLE RIVER ON NOR 1A0

[REDACTED]
535 NORTH TALBOT
WINDSOR ON N9J 1M8

[REDACTED]
[REDACTED]
1414 ROXBOROUGH AVE
WINDSOR ON N9B 3H3

[REDACTED]
355 BARRY AVE
WINDSOR ON N8N 2G2

[REDACTED]
[REDACTED]
138 WAKEFIELD DR
MACON GA 31210

[REDACTED]
[REDACTED]
2610 BOUFFARD RD
WINDSOR ON N9H 1W2

[REDACTED]
7290 MALDEN RD
WINDSOR ON N9J 2T7

[REDACTED]
[REDACTED]
4680 HURON CHURCH LINE RD
WINDSOR ON N9H 1H4

[REDACTED]
5358 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
6720 DISPUTED RD
WINDSOR ON N9H 1Y1

[REDACTED]
[REDACTED]
7010 DISPUTED RD
RR 3
WINDSOR ON N9A 6Z6

[REDACTED]
[REDACTED]
2335 GRAND MARAIS RD W
WINDSOR ON N9E 4C6

[REDACTED]
1237 ASHBERRY PL
WINDSOR ON N9H 2A9

[REDACTED]
[REDACTED]
424 HILGARD COVE
SANDFORD FL USA 32771

[REDACTED]
6425 DISPUTED RD
WINDSOR ON N9H 1X8

[REDACTED]
4665 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
[REDACTED]
5030 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
[REDACTED]
2587 WESTBROOK RD
RR 1
SMITHVILLE ON L0R 2A0

[REDACTED]
[REDACTED]
4419 STAFFORD RD
ASHTABULA OH 44004

[REDACTED]
3820 KATHLEEN ST
WINDSOR ON N9G 1P9

[REDACTED]
1680 CAMPBELL AVE
WINDSOR ON N9B 2K6

[REDACTED] L
206 GREENGABLE CRT
KITCHENER ON N2N 3A9

[REDACTED]
3463 OUELLETTE AVE
WINDSOR ON N9E 3M1

[REDACTED]
3442 HOWARD AVE
WINDSOR ON N9E 3N5

[REDACTED]
[REDACTED]
6855 DISPUTED RD
WINDSOR ON N9H 1Y3

[REDACTED]
4455 HURON CHURCH LINE RD
WINDSOR ON N9H 1H3

[REDACTED]
1770 ST CLAIR AVE
WINDSOR ON N9B 3T7

[REDACTED]
[REDACTED]
1915 OMIRA ST
WINDSOR ON N9H 1R4

[REDACTED]
1643 PARTINGTON AVE
WINDSOR ON N9B 2P9

[REDACTED]
881 GRAND MARAIS RD W
WINDSOR ON N9E 1C2

[REDACTED]
757 FRONT RD N
AMHERSTBURG ON N9V 2V6

[REDACTED]
1095 ST MARY'S BLVD
WINDSOR ON N8S 2V3

[REDACTED]
1767 PARTINGTON AVE
WINDSOR ON N9B 2R2

[REDACTED]
4545 HOWARD AVE
WINDSOR ON N9G 1P6

[REDACTED]
6690 DISPUTED RD
WINDSOR ON N9H 1Y1

[REDACTED]
1520 STUART BLVD
WINDSOR ON N9J 1Y6

[REDACTED]
2986 GRANDVIEW ST
WINDSOR ON N8T 2L7

[REDACTED]
7 ERIE GLEN CRES
LEAMINGTON ON N8H 5K2

[REDACTED]
7010 DISPUTED RD RR 3
WINDSOR ON N9A 6Z6

[REDACTED]
6650 DISPUTED RD
WINDSOR ON N9H 1Y1

[REDACTED]
8735 BRODERICK RD
RR 3
WINDSOR ON N9A 6Z6

[REDACTED]
4C-620 SOUTH CENTER
ROYAL OAK MI USA 48067

[REDACTED]
ESTATE 1907 LUXURY AVE
WINDSOR ON N8P 1T2

[REDACTED]
1294 JANETTE AVE
WINDSOR ON N8X 1Y6

[REDACTED]
6725 DISPUTED RD
WINDSOR ON N9H 1Y2

[REDACTED]
6835 DISPUTED RD
WINDSOR ON N9H 1Y3

[REDACTED]
8888 RIVERSIDE DR E
APT 608
WINDSOR ON N8S 1H2

[REDACTED]
2505 TIVOLI AVE
WINDSOR ON N8P 0A8

[REDACTED]
1725 ST CLAIR AVE
WINDSOR ON N9B 3T7

[REDACTED]
360 FAIRVIEW AVE W SUITE 311
ESSEX ON N8M 1Y6

[REDACTED]
WINDSOR ON N8Y 4R4

[REDACTED]
5380 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
840 NORWICK RD
NEWMARKET ON L3X 1K8

[REDACTED]
503 OAKFIELD CRT
WINDSOR ON N8N 4B2

[REDACTED]
1506 CORTINA CRT
TECUMSEH ON N8N 5A7

[REDACTED]
2765 BOUFFARD RD
WINDSOR ON N9H 1W3

[REDACTED]
5265 HOWARD AVE
RR3
WINDSOR ON N9A 6Z6

[REDACTED]
12311 VERDANT CRT
WINDSOR ON N9K 1B4

[REDACTED]
2850 BOUFFARD RD
WINDSOR ON N9H 1W5

[REDACTED]
4815 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
131 N CARDINAL ST
WICHITA KS 67230

[REDACTED]
2645 BOUFFARD RD
WINDSOR ON N9H 1W3

[REDACTED]
4 - 130 CABELA WEST BLVD
DUNDEE MI USA 48131

[REDACTED]
5340 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
2199 BLACKACRE DR
OLDCASTLE ON N0R 1L1

[REDACTED]
1450 STUART BLVD
WINDSOR ON N9J 1Y6

[REDACTED]
2660 BOUFFARD RD
WINDSOR ON N9H 1W2

[REDACTED]
2448 SUGARLOAF LANE
FT LAUDERDALE FL 33144 USA

[REDACTED]
10465 PEPPERVINE ST
WINDSOR ON N8P 1Z2

[REDACTED]
1577 MOY AVE
WINDSOR ON N8X 1J4

[REDACTED]
1658 MARENTETTE AVE
WINDSOR ON N8X 4E6

[REDACTED]
4735 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
1722 ST CLAIR AVE
WINDSOR ON N9B 3T9

[REDACTED]
4693 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
1880 MEAGAN DR
WINDSOR ON N9J 3K7

[REDACTED]
2535 BOUFFARD RD
WINDSOR ON N9H 1V9

[REDACTED]
3238 FOREST GLADE DR
WINDSOR ON N8R 1X3

[REDACTED]
5390 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
1430 PARADISE PL
BELLE RIVER ON N0R 1A0

[REDACTED] TIS
GEORGACOPOULOS ANGELA
3458 HEMLOCK RD
WINDSOR ON N8R 1Z9

[REDACTED]
3824 ROSEMOUNT AVE
WINDSOR ON N9C 2E5

[REDACTED]
1910 SEVENTH CON RD
RR 3 STN A
WINDSOR ON N9A 6Z6

[REDACTED]
3015 BOUFFARD RD
WINDSOR ON N9H 1W4

[REDACTED]
1815 HOLLINGER AVE
WINDSOR ON N9H 1V5

[REDACTED]
4025 HOWARD AVE
WINDSOR ON N9G 1N9

[REDACTED]
1835 MEAGAN DR
WINDSOR ON N9J 3K7

[REDACTED]
2525 BOUFFARD RD
WINDSOR ON N9H 1V9

[REDACTED]
2575 ROSE VILLE GARDEN DR
SUITE 210
WINDSOR ON N8T 3K1

[REDACTED]
1959 JEFFERSON BLVD
WINDSOR ON N8T 2W1

[REDACTED] P
1 LIMERICK PL
ST JOHN'S NL A1B 2H2

[REDACTED]
1855 TODD LANE
WINDSOR ON N9H 1J6

[REDACTED]
C/O 3737 OUELLETTE AVE
WINDSOR ON N9E 3M6

[REDACTED]
[REDACTED]
8957 GRIFFIN WAY
BALTIMORE MD 21208

[REDACTED]
4715 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
1136 JILLIAN CRT
BELLE RIVER ON NOR 1A0

[REDACTED]
[REDACTED]
2970 BOUFFARD RD
WINDSOR ON N9H 1W5

[REDACTED]
[REDACTED]
451 PARK ST W
WINDSOR ON N9A 5V4

[REDACTED]
3757 CONNAUGHT AVE
WINDSOR ON N9C 2C2

[REDACTED]
[REDACTED]
2730 BOUFFARD RD
WINDSOR ON N9H 1W2

[REDACTED]
2740 BOUFFARD RD
WINDSOR ON N9H 1W2

[REDACTED]
2365 MARK AVE
WINDSOR ON N9E 3X8

[REDACTED]
1765 CALIFORNIA AVE
WINDSOR ON N9B 3T5

[REDACTED]
[REDACTED]
4990 HURON CHURCH LINE RD
WINDSOR ON N9H 1H4

[REDACTED]
[REDACTED]
932 BELLAGIO DR
WINDSOR ON N8P 1J7

[REDACTED]
1342 MOY AVE
WINDSOR ON N8X 4S6

[REDACTED]
RR 2
2196 GESTO RD
ESSEX ON N8M 2X6

[REDACTED]
2196 GESTO RD
RR 2 STN MAIN
ESSEX ON N8M 2X6

[REDACTED]
[REDACTED]
1825 MEAGAN DR
WINDSOR ON N9J 3K7

[REDACTED]
1561 COLLEGE AVE
WINDSOR ON N9B 1M2

[REDACTED]
CLARA CITY
PO BOX 665
MINNESOTA USA 56222

[REDACTED]
[REDACTED]
635 TECUMSEH RD W
WINDSOR ON N8X 1H4

[REDACTED]
2210 BONDY AVE
WINDSOR ON N9H 1J2

[REDACTED]
[REDACTED]
2565 GAIL RD
WINDSOR ON N8W 2Z7

[REDACTED]
6525 DISPUTED RD
WINDSOR ON N9H 1X8

[REDACTED]
3411 BAYONNE STREET
SAN DIEGO CA 92109

[REDACTED]
[REDACTED]
1324-6101 OHIO DR
PLANO TX USA 75024

[REDACTED]
[REDACTED]
477 GREEN VALLEY DR
WINDSOR ON N8N 4C2

[REDACTED]
[REDACTED]
2561 INDIGO AVE
WINDSOR ON N8P 0B3

[REDACTED]
2515 BOUFFARD RD
WINDSOR ON N9H 1V9

[REDACTED]
[REDACTED]
3199 DOUGALL AVE
WINDSOR ON N9E 1S5

[REDACTED]
[REDACTED]
6640 MALDEN RD
WINDSOR ON N9H 1T6

[REDACTED]
2 SELWOOD AVE
WINNIPEG MB R3R 2P8

[REDACTED]
[REDACTED]
4785 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
[REDACTED]
117 PEARL ST
SARNIA ON N7T 5G6

[REDACTED]
1575 LAUZON RD
WINDSOR ON N8S 3N4

[REDACTED]
2315 NORMANDY ST
WINDSOR ON N9H 1R1

[REDACTED]
2925 BOUFFARD RD
WINDSOR ON N9H 1W4

[REDACTED]
[REDACTED]
PO BOX 4300
MARKHAM ON L3R 5Z5

[REDACTED]
185 CLEGG RD
MARKHAM ON L6G 1B7

[REDACTED]
4645 8TH CON RD
RR 3
MAIDSTONE ON N0R 1K0

[REDACTED]
[REDACTED]
2640 BOUFFARD RD
WINDSOR ON N9H 1W2

[REDACTED]
2615 BOUFFARD RD
WINDSOR ON N9H 1W3

[REDACTED]
[REDACTED]
6570 DISPUTED RD
WINDSOR ON N9H 1X9

[REDACTED]
5430 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

J [REDACTED]
[REDACTED]
5370 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
3300 ASKIN AVE
WINDSOR ON N9E 3J5

[REDACTED]
99 CLARK SIDE RD W
INGERSOLL ON N5C 3R5

[REDACTED]
[REDACTED]
7010 DISPUTED RD
RR 3
WINDSOR ON N9A 6Z6

[REDACTED]
[REDACTED]
1850 MEAGAN DR
WINDSOR ON N9J 3K7

J [REDACTED]
[REDACTED]
1805 HOLLINGER AVE
WINDSOR ON N9H 1V5

[REDACTED]
9874 KENWOOD CRES
WINDSOR ON N8R 1H2

[REDACTED]
470 ELLIOTT ST E
WINDSOR ON N9A 3R9

[REDACTED]
[REDACTED]
3770 BASELINE RD
WINDSOR ON N9A 6J3

[REDACTED]
913 2ND CONC
AMHERSTBURG ON N9V 3R3

[REDACTED]
[REDACTED]
5360 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
940 WINDSOR AVE
WINDSOR ON N9A 1K2

[REDACTED]
[REDACTED]
1880 VALIANT ST
WINDSOR ON N9H 1Z2

[REDACTED]
3465 BLISS RD
WINDSOR ON N8W 3B5

[REDACTED]
[REDACTED]
2855 BOUFFARD RD
WINDSOR ON N9H 1W4

[REDACTED]
3123 CLEMENCEAU BLVD
WINDSOR ON N8T 2R6

[REDACTED]
2985 DOUGALL AVE
WINDSOR ON N9E 1S1

[REDACTED]
6355 DISPUTED RD
WINDSOR ON N9H 1X6

[REDACTED]
[REDACTED]
2490 BOUFFARD RD
WINDSOR ON N9H 1W1

[REDACTED]
442 BRUCE AVE LOWER
WINDSOR ON N9A 4W7

[REDACTED]
441 LAKEVIEW DR
SS 1
BELLE RIVER ON NOR 1A0

[REDACTED]
2810 BOUFFARD RD
WINDSOR ON N9H 1W5

[REDACTED]
3020 BOUFFARD RD
WINDSOR ON N9H 1W5

[REDACTED]
[REDACTED]
6590 DISPUTED RD
WINDSOR ON N9H 1X9

[REDACTED]
1840 HOLLINGER AVE
WINDSOR ON N9H 1V6

[REDACTED]
5950 MALDEN RD
WINDSOR ON N9H 1S4

[REDACTED]
1541 WESTCOTT RD
WINDSOR ON N8Y 4C5

[REDACTED]
[REDACTED]
3344 DEERBROOK DR
WINDSOR ON N8R 2C9

[REDACTED]
3490 HUNTINGTON AVE
WINDSOR ON N9E 3M8

[REDACTED]
6573 MARISSA LOOP #704
NAPLES FL USA 34108

[REDACTED]
2720 BOUFFARD RD
WINDSOR ON N9H 1W2

[REDACTED]
[REDACTED]
4745 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
9655 RIDGE RD
WINDSOR ON N8R 1G5

[REDACTED]
109-6335 EDGAR ST
WINDSOR ON N8S 2A7

[REDACTED]
208-6335 EDGAR ST
WINDSOR ON N8S 2A7

[REDACTED]
1192 FAIRVIEW BLVD
WINDSOR ON N8S 3E9

[REDACTED]
3050 BOUFFARD RD
WINDSOR ON N9H 1W5

[REDACTED]
[REDACTED]
11 WESTBRIER KNOLL
BRANTFORD ON N3R 5W3

[REDACTED]
4405 SEVENTH CON RD
WINDSOR ON N9A 6J3

[REDACTED]
6865 DISPUTED RD
WINDSOR ON N9H 1Y3

[REDACTED]
1065 MARENTETTE AVE
WINDSOR ON N9A 2A4

[REDACTED]
[REDACTED]
1241 JANETTE AVE
WINDSOR ON N8X 1Y7

[REDACTED]
MARGHERITA
951 ELSMERE AVE
WINDSOR ON N9A 2A8

[REDACTED]
2929 AUSTEN DR
WINDSOR ON N8T 1Z4

[REDACTED]
6563 DRUMMOND RD APT 204
NIAGARA FALLS ON L2G 4N6

[REDACTED]
35 DIRSTEIN ST S
BOX 228
ELMWOOD ON N0G 1S0

[REDACTED]
703 7TH AVE
HANOVER ON N4N 2K2

[REDACTED]
[REDACTED]
2414 VIA VITA ST
WINDSOR ON N9E 4C4

[REDACTED] A
10870 MULBERRY RD
WINDSOR ON N8R 1H8

[REDACTED]
[REDACTED]
2081 MURRAY ST
TECUMSEH ON N8N 4R3

[REDACTED]
2830 BOUFFARD RD
WINDSOR ON N9H 1W5

[REDACTED]
6730 DISPUTED RD
WINDSOR ON N9H 1Y1

[REDACTED]
[REDACTED]
207 CAMPBELL AVE
WINDSOR ON N9B 2H1

[REDACTED]
1656 RANKIN AVE
WINDSOR ON N9B 2S8

[REDACTED]
[REDACTED]
5310 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
[REDACTED]
6540 DISPUTED RD
WINDSOR ON N9H 1X9

[REDACTED]
359 ELMGROVE DR
WINDSOR ON N8N 4H1

[REDACTED]
2945 BOUFFARD RD
WINDSOR ON N9H 1W4

[REDACTED]
[REDACTED]
2575 BOUFFARD RD
WINDSOR ON N9H 1V9

[REDACTED]
6845 DISPUTED RD
WINDSOR ON N9H 1Y3

[REDACTED]
521 LAKESIDE DR RR5
HARROW ON N0R 1G0

[REDACTED]
1765 BOUFFARD RD
WINDSOR ON N9J 1H1

[REDACTED]
[REDACTED]
2865 BOUFFARD RD
WINDSOR ON N9H 1W4

[REDACTED]
855 LAKESHORE RD 103 RR2
MAIDSTONE ON N0R 1K0

[REDACTED]
971 ST LOUIS AVE
WINDSOR ON N8S 2K6

[REDACTED]
[REDACTED]
450 MARTIN LANE
WINDSOR ON N9J 2M5

[REDACTED]
301-1 RIVERSIDE DR W
WINDSOR ON N9A 5K3

[REDACTED]
[REDACTED]
1324 KENWICK WAY
WINDSOR ON N9H 2H1

[REDACTED]
1046 OAK AVE
WINDSOR ON N9A 5G4

[REDACTED]
3617 INGLEWOOD AVE
WINDSOR ON N9E 4P3

[REDACTED]
6735 DISPUTED RD
WINDSOR ON N9H 1Y2

[REDACTED]
[REDACTED]
2800 W MEMORIAL DR LOT 113
MUNCIE IN USA 47302

[REDACTED]
RR 3
6550 HURON CHURCH LINE RD
WINDSOR ON N9A 6Z6

[REDACTED]
[REDACTED]
41337 MARKSWAY CRT
STERLING HEIGHTS MI
USA 48314

[REDACTED]
1335 MORTON DR
WINDSOR ON N9J 3S9

[REDACTED]
145 AMY CROFT DR
WINDSOR ON N9K 1E3

[REDACTED]
[REDACTED]
5815 BISHOP ST
WINDSOR ON N9H 2K4

[REDACTED]
12217 ROXBURY CRES
WINDSOR ON N8N 4M8

[REDACTED]
383 ALOHA DR
WINDSOR ON N8N 1K1

[REDACTED]
1253 BELLEPERCHE PL
WINDSOR ON N8S 3C4

[REDACTED]
12195 ST THOMAS CRES
WINDSOR ON N8N 3P5

[REDACTED]
3045 BOUFFARD RD
WINDSOR ON N9H 1W4

[REDACTED]
946 LOUIS AVE
WINDSOR ON N9A 1X9

[REDACTED]
10810 EASTCOURT DR
WINDSOR ON N8R 1E8

[REDACTED]
1936 NORTHWAY AVE
WINDSOR ON N9B 0A3

[REDACTED]
2734 NORFOLK PINE CRES
WINDSOR ON N9E 4S5

[REDACTED]
2471 CHANDLER RD
WINDSOR ON N8W 4A7

[REDACTED]
3055 BOUFFARD RD
WINDSOR ON N9H 1W4

[REDACTED]
357 RIVER NORTH BLVD
MACON GEORGIA USA 31211

[REDACTED]
2000 WILKINSON ST
INNISSIL ON L9S 1X3

[REDACTED]
6360 DISPUTED RD
WINDSOR ON N9H 1X7

[REDACTED]
4645 HURON CHURCH LINE
WINDSOR ON N9H 1H5

[REDACTED]
1820 HOLLINGER AVE
WINDSOR ON N9H 1V6

[REDACTED]
2585 BOUFFARD RD
WINDSOR ON N9H 1V9

[REDACTED]
2180 SEVENTH CON RD
RR 3 LCD 3
WINDSOR ON N9A 6Z6

[REDACTED]
12825 RIVERSIDE DR EAST
WINDSOR ON N8N 1A9

[REDACTED]
6225 DISPUTED RD
WINDSOR ON N9H 1X6

[REDACTED]
2555 BOUFFARD RD
WINDSOR ON N9H 1V9

[REDACTED]
7915 MATCHETTE RD
WINDSOR ON N9J 2X6

[REDACTED]
3905 RIVERSIDE DR E
APT 202
WINDSOR ON N8T 1B3

[REDACTED]
209-420 MILL RD
ETOBICOKE ON M9C 1Z1

[REDACTED]
9630 ASGARD RD
WINDSOR ON N8R 1E2

[REDACTED]
3019 KENILWORTH DR
WINDSOR ON N9E 4M1

[REDACTED]
55 COMO PLACE
HAMILTON ON L9B 1Y3

[REDACTED]
739 CLOVER DALE BEACH
RR 1
HARROW ON N0R 1G0

[REDACTED]
3660 MATCHETTE RD
WINDSOR ON N9C 1Z9

[REDACTED]
561 DORSET PK
WINDSOR ON N8N 3N2

[REDACTED]
5400 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
920 MORAND ST
WINDSOR ON N9G 1J4

[REDACTED]
2520 BOUFFARD RD
WINDSOR ON N9H 1W1

[REDACTED]
2935 BOUFFARD RD
WINDSOR ON N9H 1W4

[REDACTED]
1132 GREENPARK BLVD
WINDSOR ON N8P 1J4

[REDACTED]
2468 NORTHWOOD ST
WINDSOR ON N9E 4N7

[REDACTED]
8708 LAKESHORE RD 309
RR 2
COMBER ON N0P 1J0

[REDACTED]
3608 ASKIN AVE
WINDSOR ON N9E 3J9

[REDACTED]
535 CHRISTINA CRES
WINDSOR ON N9G 2M4

[REDACTED]
11283 AMALFI DR
WINDSOR ON N8P 1J9

[REDACTED]
449 RUSSELL RD
WINDSOR ON N8N 3S6

[REDACTED]
56825 HOLIDAY PINE DR
MACOMB MI 48042 USA

[REDACTED]
31035 GREENHAVEN
ROSEVILLE MI 48066

[REDACTED]
2070 BUCKINGHAM DR
WINDSOR ON N8T 2B3

[REDACTED]
3585 HUNTINGTON AVE
WINDSOR ON N9E 3N1

[REDACTED]
1370 MOY AVE
WINDSOR ON N8X 4S6

[REDACTED]
3426 BRUCE AVE
WINDSOR ON N9E 4R8

[REDACTED]
6380 DISPUTED RD
WINDSOR ON N9H 1X7

[REDACTED]
2810 PICCADILLY AVE
MAIDSTONE ON N0R 1L0

[REDACTED]
1915 VALIANT ST
WINDSOR ON N9H 1R7

[REDACTED]
6306 MALDEN RD
WINDSOR ON N9H 1T2

[REDACTED]
37 BOSTWICK PLACE
DEPEW NY 14043

[REDACTED]
4385 ST CLAIR AVE
WINDSOR ON N9H 2N3

[REDACTED]
BEACH S1 037
833 VALENTINO
RR 2
BELLE RIVER ON N0R 1A0

[REDACTED]
3213 WOODLAND AVE
WINDSOR ON N9E 1Z6

[REDACTED]
6610 DISPUTED RD
WINDSOR ON N9H 1Y1

[REDACTED]
3461 BYNG RD
WINDSOR ON N8W 3H6

[REDACTED]
2560 BOUFFARD RD
WINDSOR ON N9H 1W1

[REDACTED]
3390 WALKER RD
UNIT 2
WINDSOR ON N8W 3S1

[REDACTED]
754 2ND CONCESSION
RR 3
AMHERSTBURG ON N9V 3R3

[REDACTED]
26 CLEOPHAS DR
WINDSOR ON N8N 4J9

[REDACTED]
[REDACTED]
2779 PARENT AVE
WINDSOR ON N8X 4K7

[REDACTED]
2791 PARENT AVE
WINDSOR ON N8X 4K7

[REDACTED]
2820 BOUFFARD RD
WINDSOR ON N9H 1W5

[REDACTED]
1955 LEDYARD AVE
WINDSOR ON N8W 5A9

[REDACTED]
[REDACTED]
1955 LEDYARD AVE
WINDSOR ON N8W 5A9

[REDACTED]
187 LAKESIDE DR
RR 5
HARROW ON N0R 1G0

[REDACTED]
[REDACTED]
560 LAKEVIEW AVE
WINDSOR ON N8P 1E2

[REDACTED]
1685 GRAND MARAIS RD E
WINDSOR ON N8W 1W3

[REDACTED]
359 CYANNA CRES
TECUMSEH ON N8N 5H1

[REDACTED]
4116 HURON CHURCH LINE RD
WINDSOR ON N9H 1G8

[REDACTED]
[REDACTED]
1932 LESPERANCE RD
WINDSOR ON N8N 2N3

[REDACTED]
[REDACTED]
1302-66 MOOREGATE CRES
KITCHENER ON N2M 5E6

[REDACTED]
2750 BROOKLYN AVE
WINDSOR ON N9H 2L2

[REDACTED]
3365 RIBERDY RD
WINDSOR ON N8W 3V3

[REDACTED]
3154 MULBERRY CRT
WINDSOR ON N8R 2A4

[REDACTED]
4765 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
[REDACTED]
2825 BOUFFARD RD
WINDSOR ON N9H 1W4

[REDACTED]
5966 KINGSLEY AVE
WINDSOR ON N9J 3P2

[REDACTED]
37199 CAMELLIA LANE
MOUNT CLEMENTS MICH 48043

[REDACTED]
[REDACTED]
2930 BOUFFARD RD
WINDSOR ON N9H 1W5

[REDACTED]
1564 GLADSTONE AVE
WINDSOR ON N8X 2R1

[REDACTED]
2785 MARK AVE
WINDSOR ON N9E 2W4

[REDACTED]
[REDACTED]
2745 BOUFFARD RD
WINDSOR ON N9H 1W3

[REDACTED]
1369 HICKORY RD
WINDSOR ON N8Y 3S8

[REDACTED]
949 MARENTETTE AVE
WINDSOR ON N9A 2A2

[REDACTED]
2660 ASKIN AVE
WINDSOR ON N9E 3H7

[REDACTED]
[REDACTED]
1742 ST CLAIR AVE
WINDSOR ON N9B 3T7

[REDACTED]
1162 REAUME RD
WINDSOR ON N9J 1C1

[REDACTED]
[REDACTED]
156 HAMPTON CRES
WINDSOR ON N9E 4M5

[REDACTED]
169 HAROLD CULL DR
KINGSVILLE ON N9Y 1Z4

[REDACTED]
[REDACTED]
2470 PYRAMID ST
LIVERMORE CA USA 94550

[REDACTED]
1875 MEAGAN DR
WINDSOR ON N9J 3K7

[REDACTED]
1805 PALMER AVE
WINDSOR ON N9H 1R8

[REDACTED]
[REDACTED]
2971 STILLMEADOW RD
WINDSOR ON N8R 1N2

[REDACTED]
[REDACTED]
2971 STILLMEADOW RD
WINDSOR ON N8R 1N2

[REDACTED]
[REDACTED]
2971 STILLMEADOW RD
WINDSOR ON N8R 1N2

[REDACTED]
AN
1860 MEAGAN DR
WINDSOR ON N9J 3K7

[REDACTED]
5350 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
5530 HURON CHURCH LINE RD
RR 3
WINDSOR ON N9A 6Z6

[REDACTED]
[REDACTED]
11283 AMALFI DR
WINDSOR ON N8P 1J9

[REDACTED]
6745 DISPUTED RD
WINDSOR ON N9H 1Y2

[REDACTED]
1162 FAIRVIEW BLVD
WINDSOR ON N8S 3E9

[REDACTED]
[REDACTED]
2725 BOUFFARD RD
WINDSOR ON N9H 1W3

[REDACTED]
[REDACTED]
31216 NARRAGANSETT LANE
BAY VILLAGE OH 44140

[REDACTED]
5555 HOWARD AVE
RR 1
OLDCASTLE ON N0R 1L0

[REDACTED]
[REDACTED]
1885 MEAGAN DR
WINDSOR ON N9J 3K7

[REDACTED]
2570 BOUFFARD RD
WINDSOR ON N9H 1W1

[REDACTED]
1820 BOUFFARD RD
WINDSOR ON N9H 1V7

[REDACTED]
1126 LESPERANCE RD
WINDSOR ON N8N 1X2

[REDACTED]
2545 BOUFFARD RD
WINDSOR ON N9H 1V9

[REDACTED]
2540 BOUFFARD RD
WINDSOR ON N9H 1W1

[REDACTED]
[REDACTED]
6554 MALDEN RD
WINDSOR ON N9H 1T3

[REDACTED]
1845 MEAGAN DR
WINDSOR ON N9J 3K7

[REDACTED]
5352 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
[REDACTED]
4206 MOUNT ROYAL DR
WINDSOR ON N9G 2C2

[REDACTED]
3010 BOUFFARD RD
WINDSOR ON N9H 1W5

[REDACTED]
2519 ACADEMY DR
WINDSOR ON N9E 2G5

[REDACTED]
[REDACTED]
921 NOVA DR
WINDSOR ON N9G 2S6

[REDACTED]
2457 LESPERANCE RD
WINDSOR ON N8N 2X1

[REDACTED]
5005 HOWARD AVE
WINDSOR ON N9H 1Z5

[REDACTED]
6555 MALDEN RD
WINDSOR ON N9H 1T5

[REDACTED]
66 PALOMINO DR
KANATA ON K2M 1M2

[REDACTED]
7415 BRODERICK RD
WINDSOR ON N9H 1W7

[REDACTED]
4558 TALBOT TRAIL
RR #3
MERLIN ON N0P 1W0

[REDACTED]
6670 DISPUTED RD
WINDSOR ON N9H 1Y1

[REDACTED]
1753 ST CLAIR AVE
WINDSOR ON N9B 3T7

[REDACTED]
34 VICTORIA ST N
AMHERSTBURG ON N9V 2X6

[REDACTED]
628 SECOND CONC
RR 3 STN MAIN
AMHERSTBURG ON N9V 3R3

[REDACTED]
3185 BURBANK CRES
WINDSOR ON N8T 2M3

[REDACTED]
1780 CALVARY CRT
TECUMSEH ON N8N 5A1

[REDACTED]
1435 PARTINGTON AVE
WINDSOR ON N9B 2P7

[REDACTED]
6755 DISPUTED RD
WINDSOR ON N9H 1Y2

[REDACTED]
5015 COLBOURNE DR
WINDSOR ON N8T 1T6

[REDACTED] E
1762 EVERTS AVE
WINDSOR ON N9B 3E7

[REDACTED]
751 WALLACE AVE
WINDSOR ON N9G 1M2

[REDACTED]
8545 MALDEN RD
WINDSOR ON N9J 2V6

[REDACTED]
571 ERIE ST E
WINDSOR ON N9A 3X8

[REDACTED]
2940 BOUFFARD RD
WINDSOR ON N9H 1W5

[REDACTED]
4415 VILLA PARADISO CRES
WINDSOR ON N9G 2L7

[REDACTED]
9680 BEACHDALE RD
WINDSOR ON N8R 1S3

[REDACTED]
4415 VILLA PARADISO CRES
WINDSOR ON N9G 2L7

[REDACTED]
24 PEARTREE CRT
BARRIE ON L4N 6N7

[REDACTED]
W 7653 CTY M
SHAWANO WI 54166

[REDACTED]
2764 ROCKWELL BLVD
WINDSOR ON N9E 2A3

[REDACTED]
2550 BOUFFARD RD
WINDSOR ON N9H 1W1

[REDACTED]
24 FOX HOLLOW CRES
LONDON ON N6G 3R2

[REDACTED]
5410 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
10741 MULBERRY RD
WINDSOR ON N8R 1H7

[REDACTED]
1382 2ND CONC
RR 3
AMHERSTBURG ON N9V 3R3

[REDACTED]
1840 MEAGAN DR
WINDSOR ON N9J 3K7

[REDACTED]
[REDACTED]
4980 HURON CHURCH LINE RD
WINDSOR ON N9H 1H4

[REDACTED]
2440 BOUFFARD RD
WINDSOR ON N9H 1W1

[REDACTED]
17 SOHO CRES
MARKHAM ON L3P 7H9

[REDACTED]
[REDACTED]
4780 SHADETREE CRES
WINDSOR ON N9G 2P8

[REDACTED]
[REDACTED]
1044 MARJORIE DR
WINDSOR ON N8S 4A3

[REDACTED]
695 CARUSO DR
WINDSOR ON N9G 2M7

[REDACTED]
2785 CLEMENCEAU BLVD
WINDSOR ON N8T 2P9

[REDACTED]
1244 GLIDDEN AVE
WINDSOR ON N8S 2P3

[REDACTED]
[REDACTED]
5440 HURON CHURCH LINE
WINDSOR ON N9H 1H6

[REDACTED]
[REDACTED]
197 HYDE PARK
RR3
AMHERSTBURG ON N9V 3R3

[REDACTED]
[REDACTED]
5120 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
4695 HURON CHURCH LINE
WINDSOR ON N9H 1H5

[REDACTED]
2607 CALIFORNIA AVE
WINDSOR ON N9E 4L6

[REDACTED]
[REDACTED]
5940 SOVEREIGN DR
WINDSOR ON N9H 2N9

[REDACTED]
5940 SOVEREIGN DR
WINDSOR ON N9H 2N9

[REDACTED]
999 E.C. ROW AVE
WINDSOR ON N8X 5C1

[REDACTED]
[REDACTED]
2655 BOUFFARD RD
WINDSOR ON N9H 1W3

[REDACTED]
PO BOX 26
51 ELLEN AVE
WALKERTON ON N0G 2V0

[REDACTED]
[REDACTED]
2630 BOUFFARD RD
WINDSOR ON N9H 1W2

[REDACTED]
[REDACTED]
804 ERIE ST EAST SUITE 100
WINDSOR ON N9A 3X4

[REDACTED]
[REDACTED]
1663 ELSMERE AVE
WINDSOR ON N8X 4H5

[REDACTED]
[REDACTED]
173 ROSEMARY ST
DEARBORN HEIGHTS MI 48127

[REDACTED]
[REDACTED]
4111 CASGRAIN DR
WINDSOR ON N9G 2A6

[REDACTED]
[REDACTED]
[REDACTED]
3024 KENILWORTH DR
WINDSOR ON N9E 4M1

[REDACTED]
[REDACTED]
[REDACTED]
1724 LANGLOIS AVE
WINDSOR ON N8X 4M5

[REDACTED]
[REDACTED]
16940 COMPANIA
MACOMB MICHIGAN 48044

[REDACTED]
12707 ST THOMAS ST
WINDSOR ON N8N 1J2

[REDACTED]
12014 INTERSECTION RD
WINDSOR ON N8N 1R3

[REDACTED]
6335 MALDEN RD
WINDSOR ON N9H 1T4

[REDACTED]
1775 ALGONQUIN ST
WINDSOR ON N9B 1W7

[REDACTED]
9760 MARTINIQUE PL
WINDSOR ON N8P 1H9

[REDACTED]
187 DIANE CRES
WINDSOR ON N9K 1E2

[REDACTED]
259 BELLEPERCHE PL
WINDSOR ON N8S 3B6

[REDACTED]
6560 MALDEN RD
WINDSOR ON N9H 1T3

[REDACTED]
12011 CTY RD 15
RR 2
ESSEX ON N8M 2X6

[REDACTED]
[REDACTED]
3300 ASKIN AVE
WINDSOR ON N9E 3J5

[REDACTED]
4753 BURNS RD
MPLS MN 55364

[REDACTED]
2960 BOUFFARD RD
WINDSOR ON N9H 1W5

[REDACTED]
2580 BOUFFARD RD
WINDSOR ON N9H 1W1

[REDACTED]
1855 MEAGAN DR
WINDSOR ON N9J 3K7

[REDACTED]
138 MAPLE AVE
RR 3
BOX C9
HARROW ON N0R 1G0

[REDACTED]
E331 - 3801 YOSEMITE BLVD
MODESTO CA USA 95357

[REDACTED]
6715 DISPUTED RD
WINDSOR ON N9H 1Y2

[REDACTED]
2935 NORTHWAY AVE
WINDSOR ON N9E 4J9

[REDACTED]
5130 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
2267 LOUIS AVE
WINDSOR ON N8X 4C2

[REDACTED]
2495 BOUFFARD RD
WINDSOR ON N9H 1V9

[REDACTED]
1565 BOUFFARD RD
WINDSOR ON N9J 1H1

[REDACTED]
334-6971 16TH AVE SE
CALGARY AB T2A 0X8

[REDACTED]
969 NOVA ST
WINDSOR ON N9G 2S7

[REDACTED]
9259 BRODERICK RD
RR 3
WINDSOR ON N9A 6Z6

[REDACTED]
1761 HEBERT ST
WINDSOR ON N8N 4G3

[REDACTED]
2681 ARMSTRONG AVE
WINDSOR ON N8T 2G2

[REDACTED]
3181 TEXAS RD
AMHERSTBURG ON N9V 2Y9

[REDACTED]
47 CROYDON RD NW
CALGARY AB T2K 1S5

[REDACTED]
47 CROYDON RD
CALGARY AB T2K 1S5

[REDACTED]
273 ST PAUL
PO BOX 464
BELLE RIVER ON N0R 1A0

[REDACTED]
5820 DALTON AVE
WINDSOR ON N9H 1N1

[REDACTED]
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WINDSOR ON N9H 1H5

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WINDSOR ON N9H 1W5

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TECUMSEH ON N8N 5A5

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4633 DALI CRES
WINDSOR ON N9G 2M8

[REDACTED]
420 St ROBERT
BROSSARD PQ J4X 1C6

[REDACTED]
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WINDSOR ON N9H 1S9

[REDACTED]
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WINDSOR ON N9A 2B1

[REDACTED]
162 REAUME RD
WINDSOR ON N9J 1B1

[REDACTED]
4505 CENTRE LAKE RD
WINDSOR ON N9G 2R1

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WINDSOR ON N9H 1H6

[REDACTED]
49791 COOKE AVE
PLYMOUTH MI 48170

[REDACTED]
1456 ROXBOROUGH AVE
WINDSOR ON N9B 3H3

[REDACTED]
6445 DISPUTED RD
WINDSOR ON N9H 1X8

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465 DARLENE PL
WINDSOR ON N9J 3B6

[REDACTED]
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WINDSOR ON N9H 1W3

[REDACTED]
16355 245TH STREET
MASON CITY IA 50401

[REDACTED]
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RR 3 LCD 3
WINDSOR ON N9A 6Z6

[REDACTED]
238 BAIN AVE
TORONTO ON M4K 1G3

[REDACTED]
238 BAIN AVE
TORONTO ON M4K 1G3

[REDACTED]
5001 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
1780 WESTMINISTER BLVD
WINDSOR ON N8T 1X4

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WINDSOR ON N9H 1Y1

[REDACTED]
6640 DISPUTED RD
WINDSOR ON N9H 1Y1

[REDACTED]
6860 DISPUTED RD
WINDSOR ON N9H 2A7

[REDACTED]
801 - 374 OUELLETTE AVE
WINDSOR ON N9A 1A8

[REDACTED]
1 PINE HILL DR
RR1
PHELPSTON ON L0L 2K0

[REDACTED]
6580 DISPUTED RD
WINDSOR ON N9H 1X9

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WINDSOR ON N9H 1H5

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WINDSOR ON N9H 1W5

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WINDSOR ON N9H 1T3

[REDACTED]
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WINDSOR ON N9H 1H6

[REDACTED]
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WINDSOR ON N8T 3C6

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2815 BOUFFARD RD
WINDSOR ON N9H 1W4

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WINDSOR ON N9H 1H4

[REDACTED]
4970 HURON CHURCH LINE RD
WINDSOR ON N9H 1H4

[REDACTED]
[REDACTED]
1443 ROXBOROUGH AVE
WINDSOR ON N9B 3H2

[REDACTED]
[REDACTED]
NEVESINJSKA 14 11000
BELGRADE, YUGOSLAVIA

[REDACTED]
5280 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
[REDACTED]
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WINDSOR ON N9H 1Y2

[REDACTED]
[REDACTED]
801 - 374 OUELLETTE AVE
WINDSOR ON N9A 1A8

[REDACTED]
28310 N. 61ST STREET
CAVE CREEK, ARIZONA
85331 USA

[REDACTED]
7294 NW One Manor
Plantation Fl.
33317

[REDACTED]
131 N Cardinal ST
Wichita, KS 67230
jacfin@aol.com

[REDACTED]
6914 Rosevill eGarden Drive
Windsor, ON
N8T 1J2

Town of LaSalle
5950 Malden Road
LaSalle, ON N9H1S4

Town of LaSalle
5950 Malden Road
LaSalle, ON N9H1S4

Town of LaSalle
5950 Malden Road
LaSalle, ON N9H1S4

Town of LaSalle
5950 Malden Road
LaSalle, ON N9H1S4

Town of LaSalle
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LaSalle, ON N9H1S4

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LaSalle, ON N9H1S4

Town of LaSalle
5950 Malden Road
LaSalle, ON N9H1S4

Town of LaSalle
5950 Malden Road
LaSalle, ON N9H1S4

Town of LaSalle
5950 Malden Road
LaSalle, ON N9H1S4

County of Essex
360 Fairview Avenue West, Suite 302
Essex, ON N8M 1Y6

County of Essex
360 Fairview Avenue West, Suite 302
Essex, ON N8M 1Y6

County of Essex
360 Fairview Avenue West
Suite 302
Essex, ON N8M 1Y6

Essex Region Conservation Authority
360 Fairview Avenue West, Suite 311
Essex, ON N8M 1Y6

Essex Region Conservation Authority
360 Fairview Avenue West, Suite 311
Essex, ON N8M 1Y6

Essex Region Conservation Auth
360 Fairview Avenue West,
Suite 311
Essex, ON N8M 1Y6

Fisheries and Oceans Canada
867 Lakeshore Road
Burlington, ON L7R 4A6

Ministry of Tourism, Culture & Sport
401 Bay Street, Suite 1700
Toronto, ON M7A 0A7

Ministry of Aboriginal Affairs
4th Floor, 160 Bloor Street East
Toronto, ON M7A 2E6

Ministry of the Environment
& Climate Change
733 Exeter Road
London, ON N6E 1L3

Ministry of Municipal Affairs & Housing
659 Exeter Road, 2nd Floor
London, ON N6E 1L3

Ministry of Municipal Affairs
& Housing
659 Exeter Road, 2nd Floor
London, ON N6E 1L3

Ministry of Transportation
659 Exeter Road, 4th Floor
London, ON N6E 5L3

Ministry of Natural Resources
and Forestry
615 John Street
Aylmer, ON N5H 2S8

Ministry of Natural Resources
and Forestry
615 John Street
Aylmer, ON N5H 2S8

Chippewas of the Thames
First Nation
320 Chippewa Road, RR 1
Muncey, ON N0L 1Y0

Chippewas of the Thames First Nation
320 Chippewa Road, RR 1
Muncey, ON N0L 1Y0

Chippewas of Kettle & Stony Point
First Nation
6247 Indian Ln
Lambton Shores, ON N0N 1J2

Chippewas of Kettle & Stony Point
First Nation
6247 Indian Lane, ON
Lambton Shores, ON N0N 1J1

Aamjiwnaang First Nation
978 Tashmoo Avenue
Sarnia, ON N7T 7H5

Walpole Island First Nation
/ Bkejwanong Territory
R.R. #3
Wallaceburg, ON N8A 4K9

[REDACTED]
Walpole Island First Nation
/ Bkejwanong Territory
R.R. #3
Wallaceburg, ON N8A 4K9

[REDACTED]
Moravian of the Thames
RR3
Thamesville, ON N0P 2K0

[REDACTED]
Cogeco Cable Solutions
2525 Dougall Ave.
Windsor, ON N8X 5A7

[REDACTED]
Union Gas
3840 Rhodes Drive
Windsor, ON N9A 6N7

Dr. M. Tabib
[REDACTED]
2224 Walker Road, Suite 150
Windsor, ON N8W 5L7

Mr. & Mrs. Rodger & Anne Milliken
Stonegate Development Corporation
2365 Mark Avenue
Windsor, ON N9E 3X8

[REDACTED]
[REDACTED]
7515 Forest Glade Promenade
Windsor, ON N8T 3P5

[REDACTED]
[REDACTED]
School Board
1325 California Ave
Windsor, ON N9B 3Y6

[REDACTED]
Caldwell First Nation
P.O. Box 388
Leamington, ON N8H 3W3

[REDACTED]
Metis Nation of Ontario
75 Sherborune Street
Toronto, ON M5A 2P9

[REDACTED]
MNSi
3363 Tecumseh Road East
Windsor, ON N8W 1H4

[REDACTED]
2985 Dougall Avenue
Windsor, ON
N9E 1S1

[REDACTED]
2365 Mark Avenue
Windsor, ON N9E 3X8

[REDACTED]
[REDACTED]
[REDACTED]
Box 210 451 Park St W
Windsor, ON N9A 6K1

[REDACTED]
Caldwell First Nation
P.O. Box 388
Leamington, ON N8H 3W3

[REDACTED]
Bell Canada
1149 Goyeau Street, P.O. Box 1601
Windsor, ON N9A 1H9

[REDACTED]
Hydro One Networks Inc.
56 Embro Street
Beachville, ON N0J 1A0

[REDACTED]
200 Wilkinson Street
Innisville, ON L9S 1X3

[REDACTED]
804 Erie Street East, Suite 100
Windsor, ON N9A 3Y4

[REDACTED]
3945 Matchette Road
Windsor, ON
N9C 4C2

Town of LaSalle: Bouffard and Howard Planning Area
 Class Environmental Assessment Addendum and Planning Act Approvals

Public Information Centre #2 – July 27, 2016
 Record of Attendance

NAME (please print)	MAILING ADDRESS (please print)	POSTAL CODE
[REDACTED]	3040 Bouffard Rd.	N9H1W5
[REDACTED]	449 Russell Woods Rd Tecm.	N8N 3S6
[REDACTED]	1324 KENNEDY WAY.	N9H-2H1
[REDACTED]	3757 CONNAUGHT AVE.	W9C 2C2
[REDACTED]	4797 SHADOTREE COURT	N9G 2T9
[REDACTED]	259 BELLEPERERE PL	N8S 3B6
[REDACTED]	2855 BOUFFARD RD	N9H 1W4
[REDACTED]	16940 COMPANIA DR.	48044 U.S.A.
[REDACTED]	1237 Ashberry Place	N9H 2A9
[REDACTED]	4780 Shadetree Cr.	N96 2P8
[REDACTED]	1044 MARJORIE DR WINDSOR	N8S 4A3
[REDACTED]	655T MAUDEN RO. LAKE	N9T 1L6



Town of LaSalle: Bouffard and Howard Planning Area
 Class Environmental Assessment Addendum and Planning Act Approvals

Public Information Centre #2 – July 27, 2016
 Record of Attendance

NAME (please print)	MAILING ADDRESS (please print)	POSTAL CODE
	560 LAKEVIEW WINDSOR	N9E 4C6
	2335 Grand Morais Windsor	
	2986 Grandview Windsor	N8T 2L7
	5310 Huron Churchline	N9H 1H6
	3824 Rosemount Windsor	N9C 2E5
	1742 SAN CLAIR AVE	N9B 3T7
	6th Concession 1780 LaSalle	N9A 6Z6
	971 ST. LOUIS AVE	N8S 2K6
	10370 Mulberry Road	N8R 1H8
	628 2ND Concession Amherstburg	N9V 3R3
	5015 COLBOURNE WINDSOR	N8T-1F6
	2820 BOUFFARD RD ^{LA} _{BRUCE}	N9H-1W5

Project No. 16-3470



Town of LaSalle: Bouffard and Howard Planning Area
 Class Environmental Assessment Addendum and Planning Act Approvals

Public Information Centre #2 – July 27, 2016
 Record of Attendance

NAME (please print)	MAILING ADDRESS (please print)	POSTAL CODE
[REDACTED]	4795 Huxon Church Rd for Sale	N9H 1R5
	2715 Bouffard	N9H 1W3
	470 Elliott & Windsor	N9H 3R9
	1950 Omipa	N9H 1R2
	4165 BOTT	N9H 1Y2
	6715 Disputed	N9H 1Y2
	6560 Disputed.	N9H 1X9
	1450 Rustlebood	
	1724 D'ANGELOIS	N9H 1M5

Object No: 10-0-170

**Town of LaSalle: Bouffard and Howard Planning Area
Class Environmental Assessment Addendum and Planning Act Approvals**

**Public Information Centre #2 – July 27, 2016
Record of Attendance**

NAME (please print)	MAILING ADDRESS (please print)	POSTAL CODE
	4505 Centre Lake Drive	N9G2R1
	2850 Bouffard	N9H-1W5
	2558 Damball - suite 100	N8X1T6
	3608 Astin Windsor	N9E3J9
	9760 MARTINDIQUE PK	N9B1K7-
	1915 OMIRA ST, LASALLE	N9H 1R4
	280 Puccanilly Tecumseh	N0R1L0
	1218 KASSAS N9H 0G4 ---7.	
	8510 Huron Church Line Rd	N9A 6Z8 .
	1650 7th Conc	N9A 6Z6
30 1730 Hau Ave	N8W-2L4 .	

Town of LaSalle: Bouffard and Howard Planning Area
 Class Environmental Assessment Addendum and Planning Act Approvals

Public Information Centre #2 – July 27, 2016
 Record of Attendance

NAME (please print)	MAILING ADDRESS (please print)	POSTAL CODE
[REDACTED]	1245 GILES	N9A 4B7
[REDACTED]	1420 6th CONC.	N9A 6Z6
[REDACTED]	1382 2ND CONC. N. A'BURG	N9V 3R3
[REDACTED]	6640 Disputed Rd	N9H1Y1
[REDACTED]	2010 Disputed Rd	
[REDACTED]	2496 PANDURAND WILSON	N9E2C9
[REDACTED]	1540 VERMONT LASALLE	N6R 1J0
[REDACTED]	465 Darlene Pl LaSalle	N9T 3B6
[REDACTED]		
[REDACTED]	6335 Golden Road.	N9H-1T4

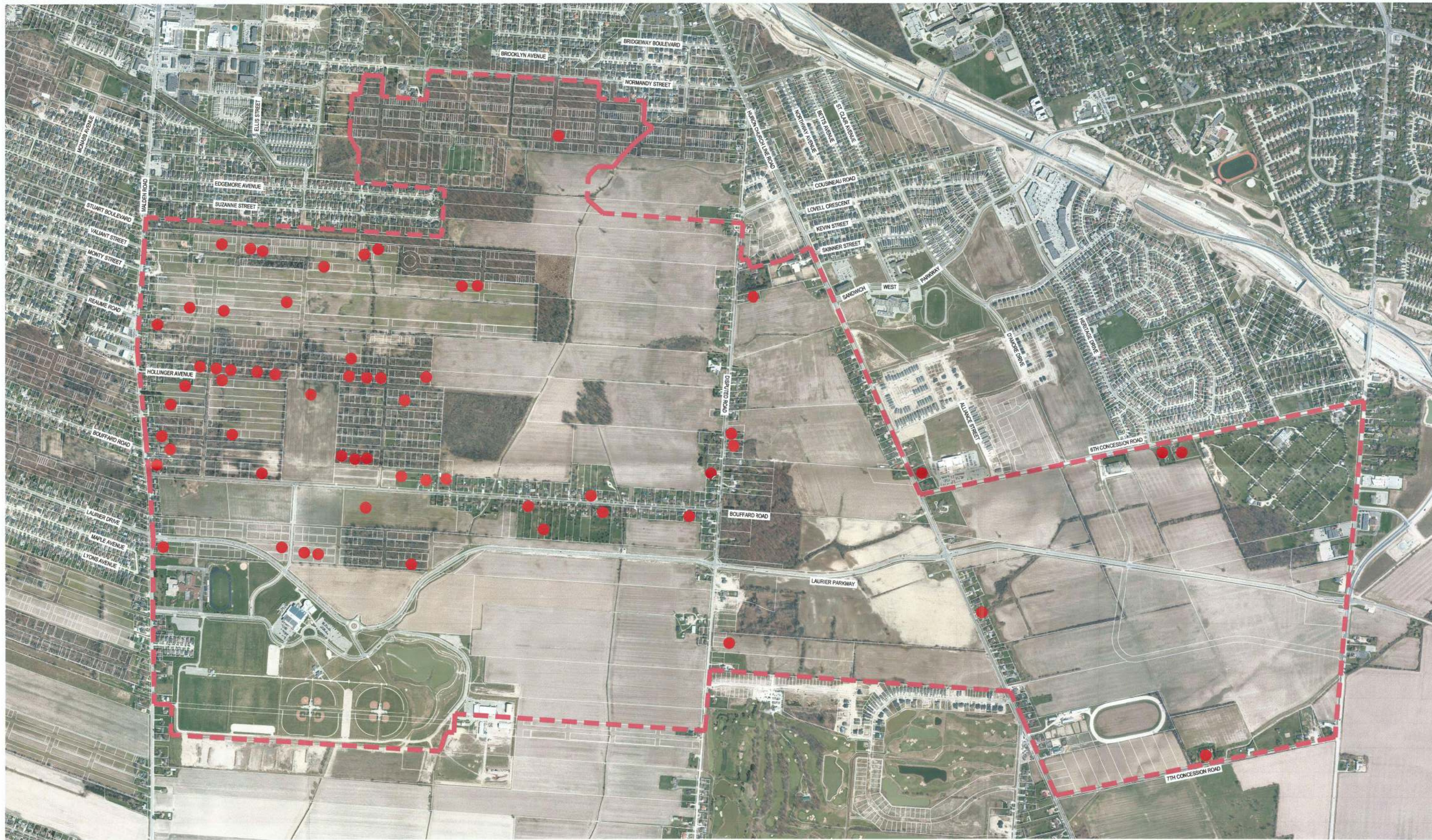
Project NO: 16-3470



Town of LaSalle: Bouffard and Howard Planning Area
 Class Environmental Assessment Addendum and Planning Act Approvals

Public Information Centre #2 – July 27, 2016
 Record of Attendance

NAME (please print)	MAILING ADDRESS (please print)	POSTAL CODE
	4206 MT ROYAL DR	N9G-2C2
	2971 STILLMEADOW	N8R 1N2
	2558 Dougall Ave, Suite 100	N8X1T6
	4558 Talbot Trail, RR3, Merlin, ON	N0P 1W0
	2916 Northway, Windsor, ON	N9E 4E9
	6380 DISTRICT RD LASALLE, ON	N9H1X7
	RE Spencer Associates <i>Bouffard</i>	N9T 1S8
	173 Rosemary, Dearborn Hts, MI	48127
	2825 BOUFFARD	N9H 1W4
	3458 HEMLOCK WINDSOR, ONT.	N8R-1Z9
	4645 8th Conc RR3 MANDSTONE ON	N0R 110



File Location: c:\projects\environmental\assessments\2019\05212119\mapa_casings - recovered.dwg
 Date: 06/07/2021 PM



BOUFFARD HOWARD
CLASS ENVIRONMENTAL ASSESSMENT
& INTEGRATED APPROVALS
 TOWN OF LASALLE
OWNERSHIP IDENTIFICATION MAP

WELCOME!

Bouffard Howard Class Environmental
Assessment (EA) Addendum
Public Information Centre #2

July 27th, 2016

Town of LaSalle – Town Hall
5950 Malden Road, LaSalle, ON



WELCOME! — PIC #2

Class EA Addendum - Integrated Approach

Study Process

The study is following the requirements of the Municipal Class Environmental Assessment (EA) (2000, as amended). The study will meet the requirements of the “Integrated Approach” which provides an opportunity to fulfill requirements of the Environmental Assessment Act and Planning Act through a coordinated process, where appropriate. **We are a Schedule ‘B’ Project.**

Class Environmental Assessment

The Class EA Process ensures:

- All relevant social, environmental and engineering factors are considered in the planning and design process
- Public and agency input is integrated into the EA process

SCHEDULE
B SCHEDULE
C

SCHEDULE
B SCHEDULE
C

SCHEDULE
C

SCHEDULE
C

SCHEDULE
B SCHEDULE
C

Phase 1: Problem / Opportunity

Confirm the study purpose and justification.

Phase 2: Alternative Solutions

- Identify reasonable alternative solutions to the problem/opportunity
- Overview of existing conditions
- Consult review agencies and the public
- Evaluate alternatives and recommend a solution
- Select the preferred solution
- Document the decision making process for public and agency review (Schedule B).

We Are Here!

Phase 3: Alternative Design Concepts

- Identify alternative design concepts
- Detailed review of existing conditions
- Evaluate alternatives and select a recommended design
- Consult review agencies and the public.
- Select the preferred design..

Phase 4: Environmental Study Report

Document the decision making process in an environmental study report (ESR) for a Schedule C Project.

Phase 5: Implementation

- Detailed design and construction phase
- Monitor for environmental provisions and commitments

BOUFFARD HOWARD - STUDY PURPOSE

Bouffard Howard Class EA Addendum

An addendum is being initiated to two previous Schedule B Class EA studies:

1. Bouffard and Howard Planning Districts Master Servicing Study (2002)
2. Bouffard and Howard Planning Districts Functional Design Study (August 2005)

Both studies were completed following the requirements of the Municipal Class EA for Schedule B undertakings.

The purpose of the EA Addendum is to review and update both reports and prepare one comprehensive plan for the study area. The EA Addendum will be completed following the Integrated Approach outlined in the Municipal Class EA (2000, as amended) and will include obtaining Planning Act approvals at the same time as the EA approval.

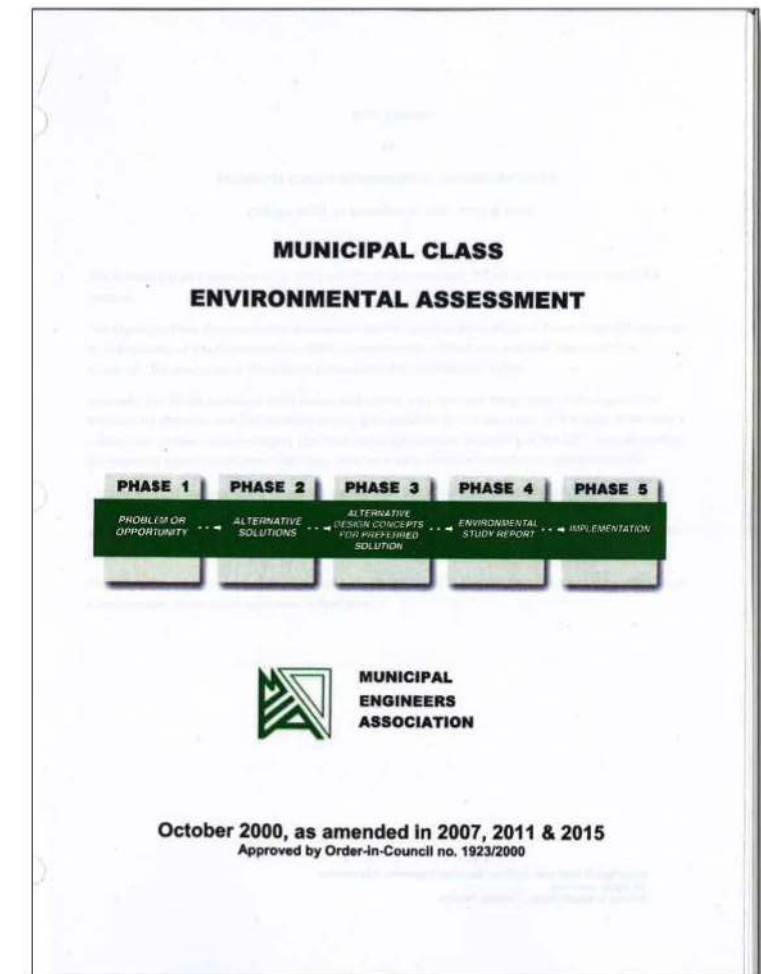
The Addendum process will:

Part 1

- Review decisions made in the two previous studies and recommend revisions. The key areas being reviewed include:
 - Revisions to drainage area boundaries, including revision to the number and location of stormwater ponds shown in the 2005 study.
 - Confirm the location and size of the trunk storm sewers, trunk sanitary sewers and locations of collector and arterial roads.
 - Confirm the location and size of natural environment areas and corridors.
- Document the recommended changes in an Addendum Report. Only the changes are subject to public review and input under the EA Act.

Part 2

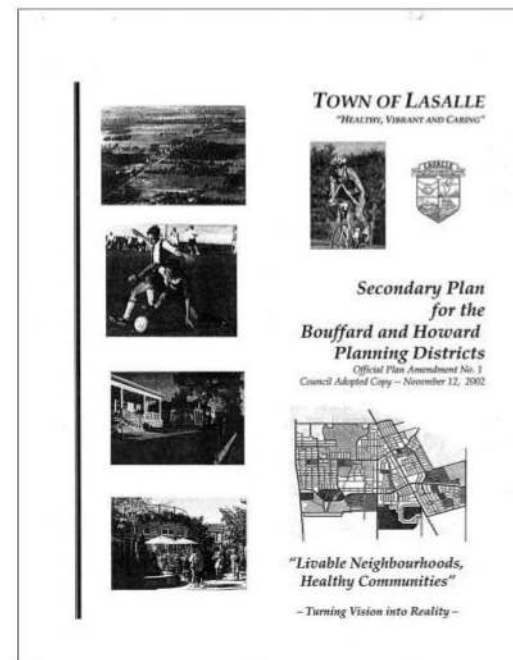
- Approval for a number of proposed developments in the area, including Draft Plans of Subdivision, Official Plan and Zoning By-law amendments.



BOUFFARD HOWARD - CHRONOLOGY

Background Studies (2002-2016)

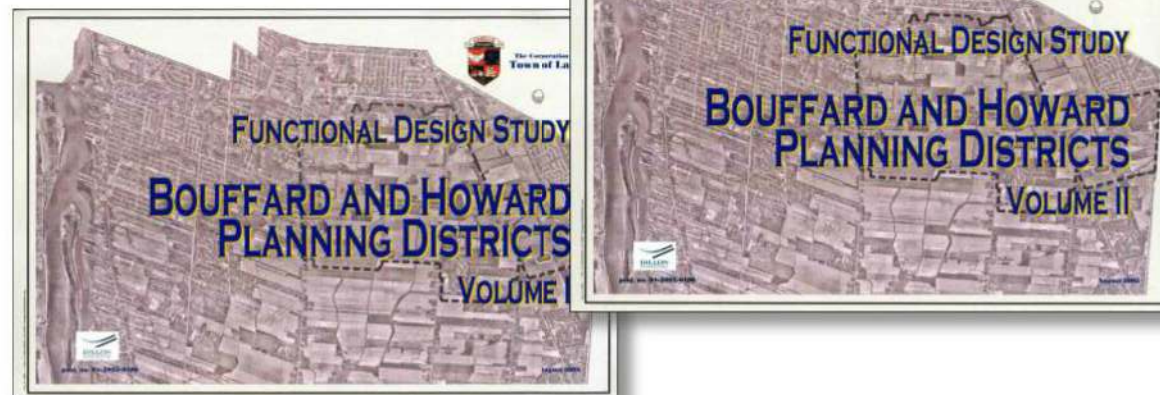
2002 Bouffard Howard Secondary Plan and Master Servicing Study



2015 Phase 1 Review of Storm Water Management Servicing Strategy



2005 Functional Design Study (Vol. I&II)



The following panels summarize key information from the previous studies.

PIC#2 - STUDY AREA

Purpose Of Bouffard Howard Class EA Addendum



Legend



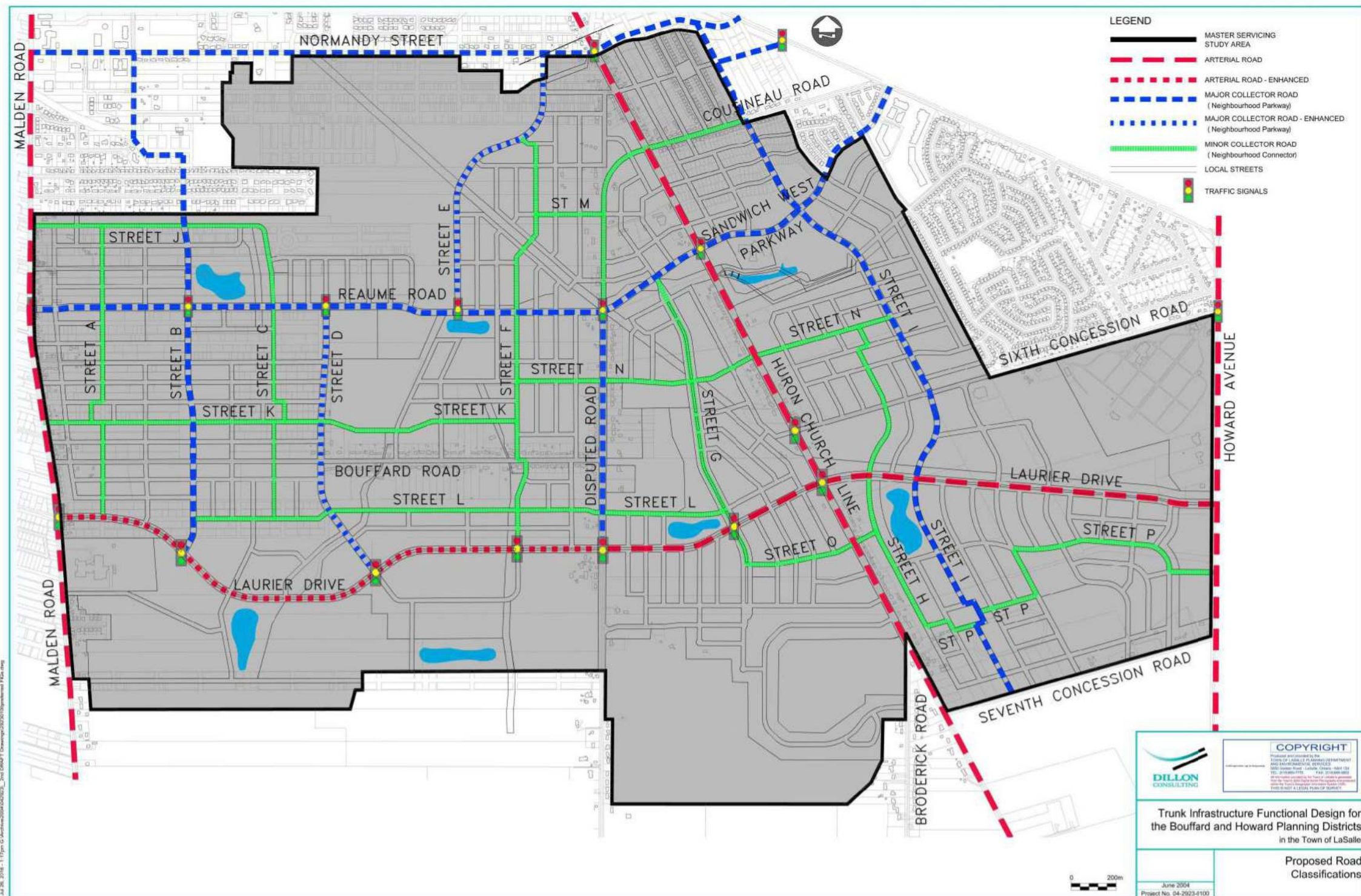
The purpose of this meeting is to provide opportunity to receive comment on:

- Trunk Sanitary Sewer Routing;
- Stormwater Management Pond Locations & Proposed Drain Enclosures & Relocations;
- Collector & Arterial Road Network
- Natural Environment Core Areas & Community Facility Locations

Source: County of Essex Aerial Photograph (2016)

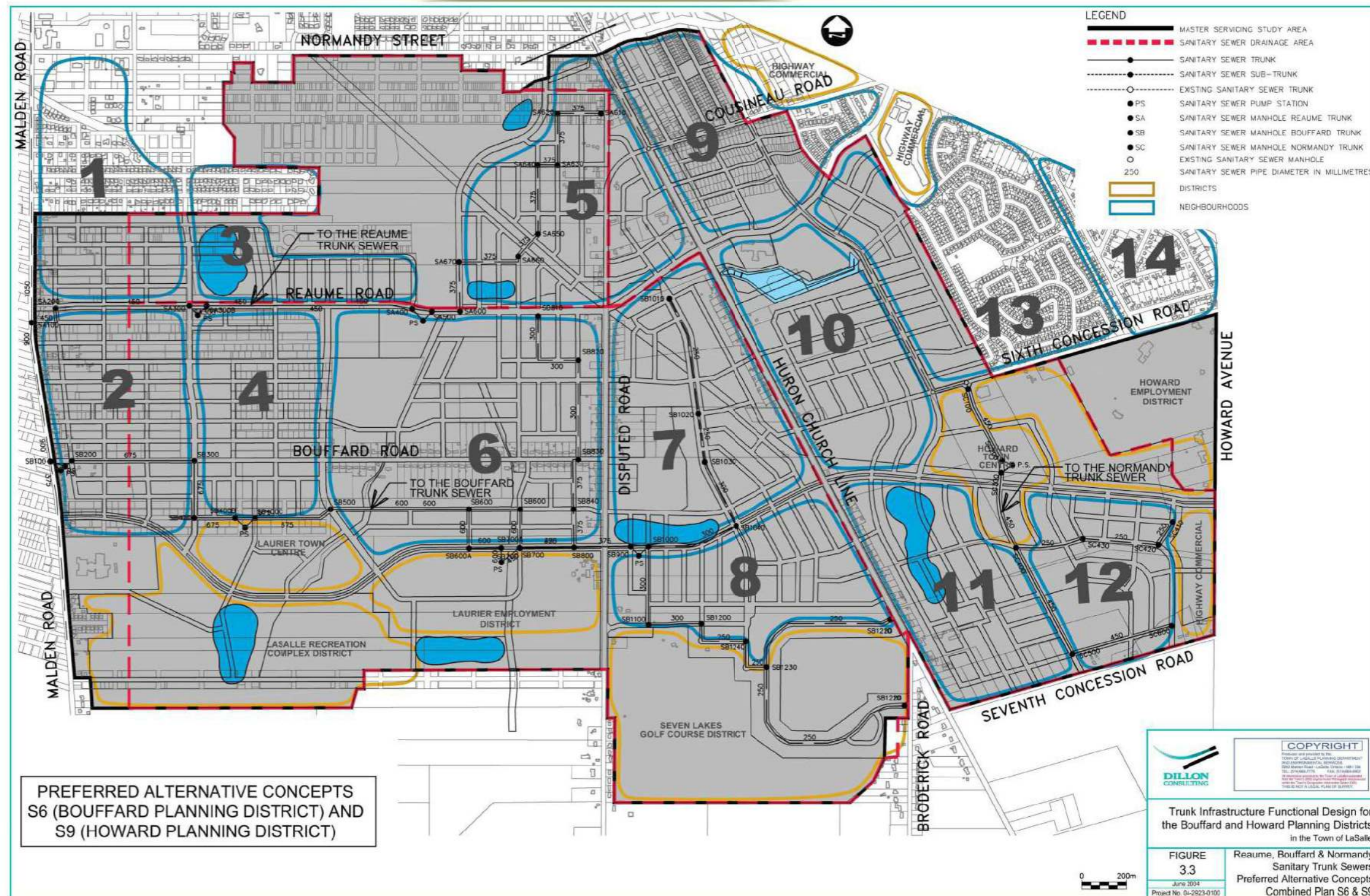
FUNCTIONAL DESIGN STUDY - ROADS

Approved/Existing Road Classifications (2005)



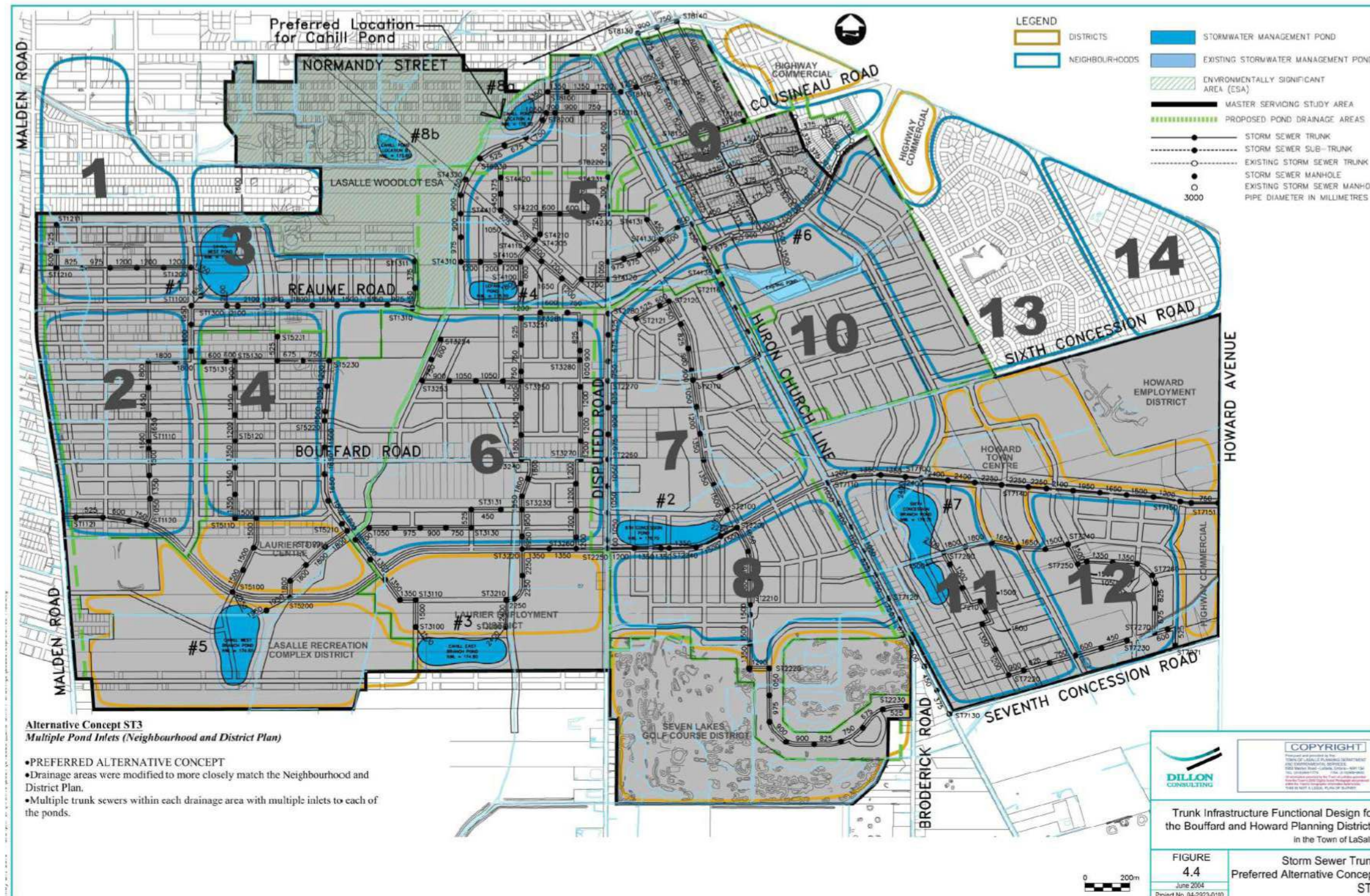
FUNCTIONAL DESIGN STUDY - SANITARY

Approved/Existing Sanitary Trunk Infrastructure (2005)



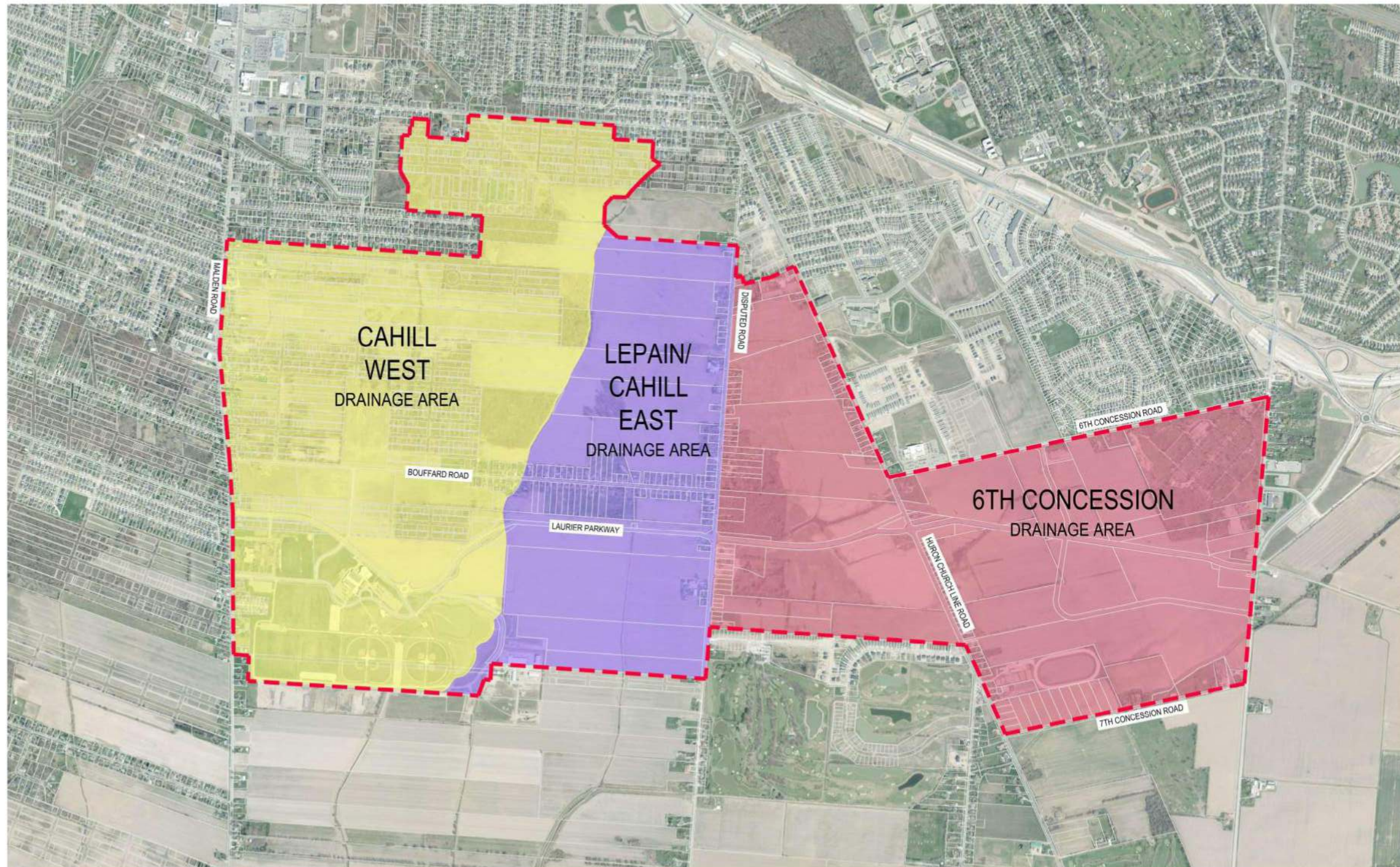
FUNCTIONAL DESIGN STUDY - STORMWATER

Approved/Existing Storm Sewer Trunk Infrastructure (2005)



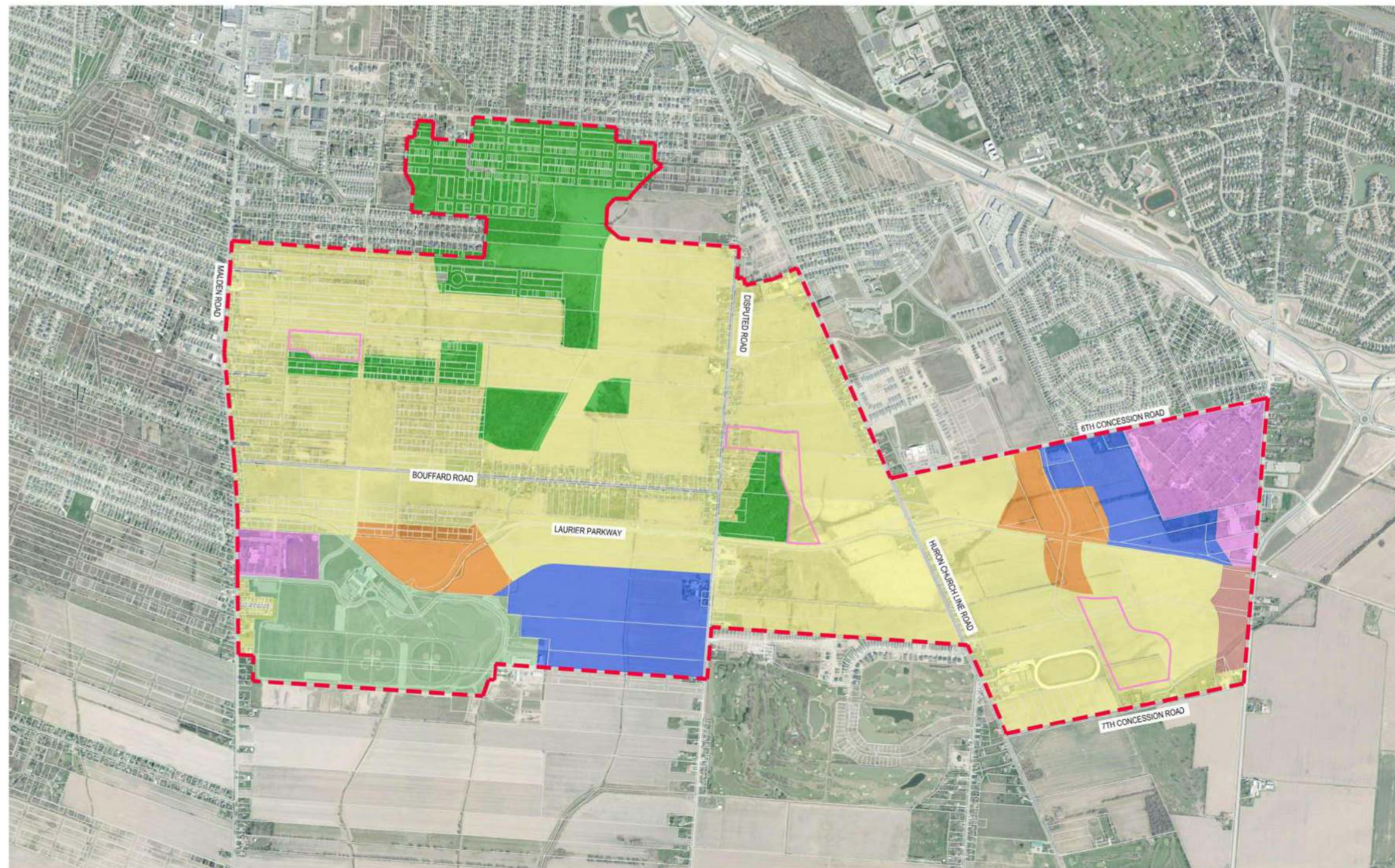
BOUFFARD HOWARD — DRAINAGE AREAS

Alternative Solutions For Drainage Study Areas (2016)



BOUFFARD HOWARD - PLANNING DISTRICTS

Existing/Approved Official Plan Land Use Designations (2005-2016)



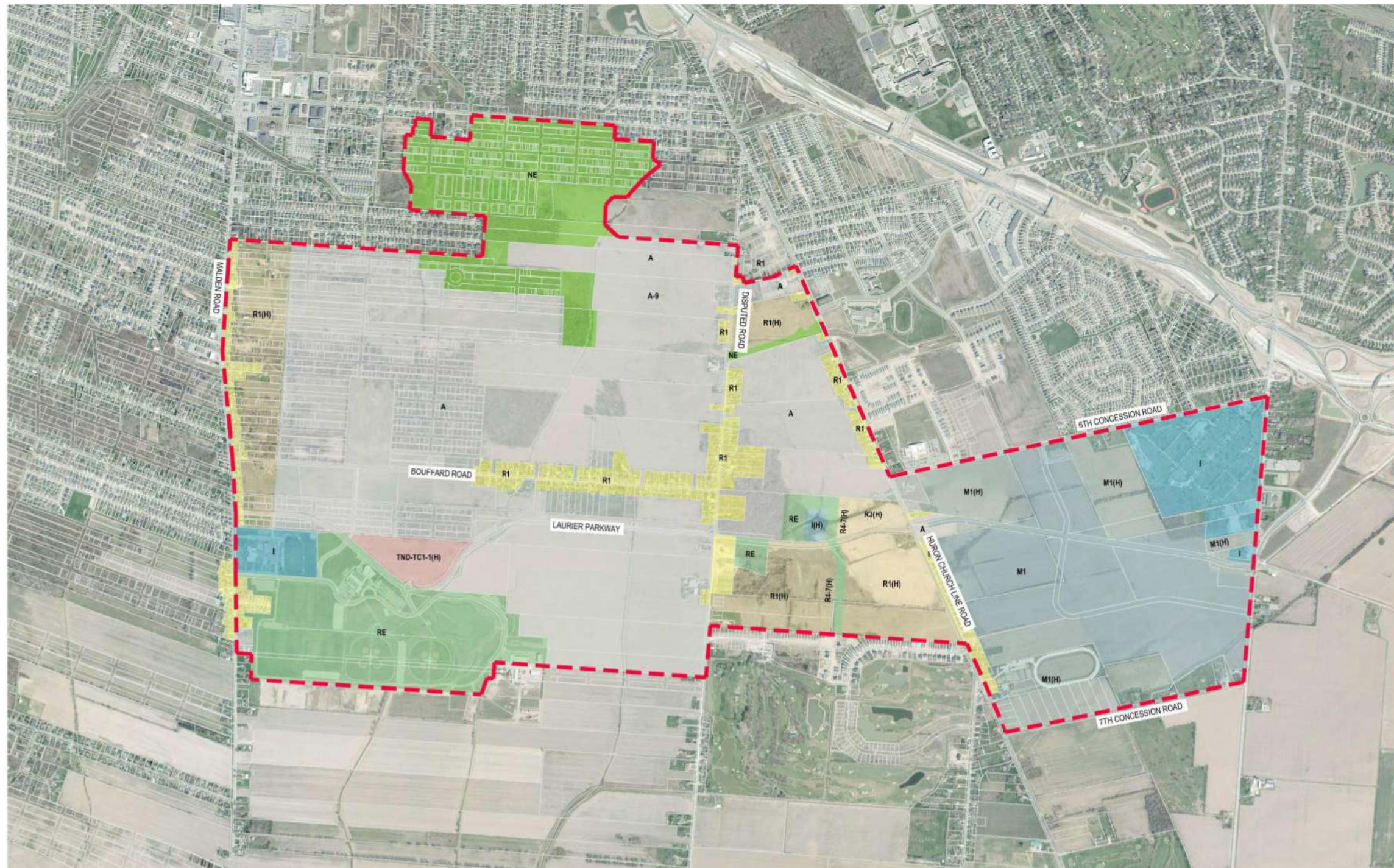
Legend

-  STUDY AREA
-  RESIDENTIAL AREA
-  NATURAL ENVIRONMENT
-  EMPLOYMENT LANDS DISTRICT
-  HIGHWAY COMMERCIAL DISTRICT
-  COMMUNITY FACILITY (EXISTING FACILITIES)
-  LASALLE RECREATIONAL COMPLEX DISTRICT
-  LAURIER/HOWARD TOWN CENTRE DISTRICT
-  COMMUNITY FACILITY/NEIGHBOURHOOD PARK

Source: Town of LaSalle Official Plan (2015) Schedules B-4 & B-5

BOUFFARD HOWARD - ZONING

Existing/Approved Zoning By-law Zoning Categories (2005-2016)



Legend

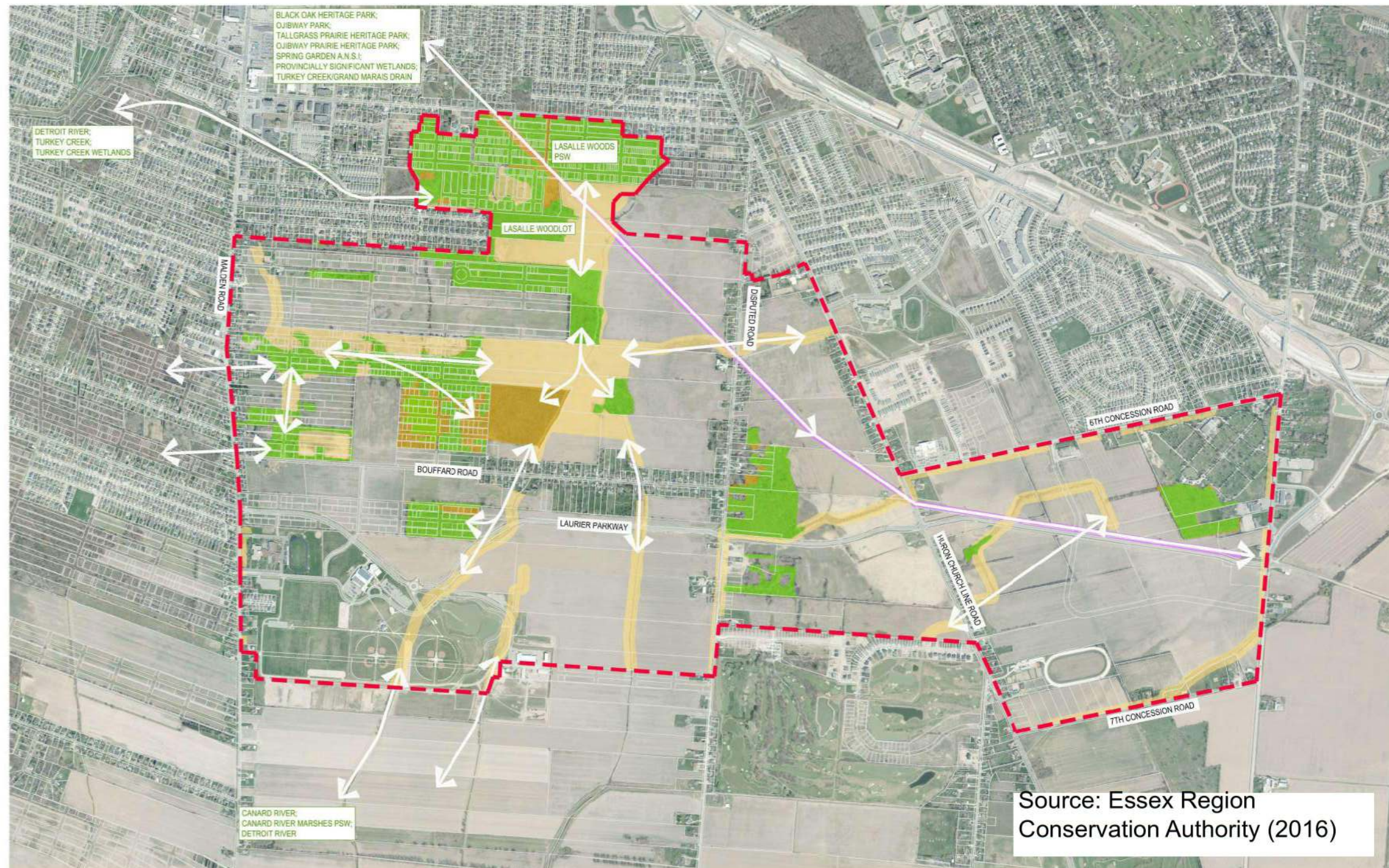
- STUDY AREA
- RESIDENTIAL (R) ZONE
R1: RESIDENTIAL ONE ZONE (SECTION 6);
R3: RESIDENTIAL THREE ZONE (SECTION 8)
- RESIDENTIAL HOLDING (RH) ZONE
- AGRICULTURAL (A) ZONE
A-9: DEFINED AREA 9, AGRICULTURAL (SECTION 21.3.9)
- INSTITUTIONAL (I) ZONE
- INSTITUTIONAL HOLDING (IH) ZONE
- RECREATIONAL (RE) ZONE
- LIGHT INDUSTRIAL (M1) ZONE
- LIGHT INDUSTRIAL HOLDING (M1H) ZONE
- TOWN CENTRE HOLDING (TND-TC1-H) ZONE

Source: Town of LaSalle Zoning By-law (2014)

BOUFFARD HOWARD - NATURAL ENVIRONMENT

Existing/Approved Natural Heritage Classifications & Suggested Linkages

(ERNHSS, 2016)



Source: Essex Region Conservation Authority (2016)

Legend

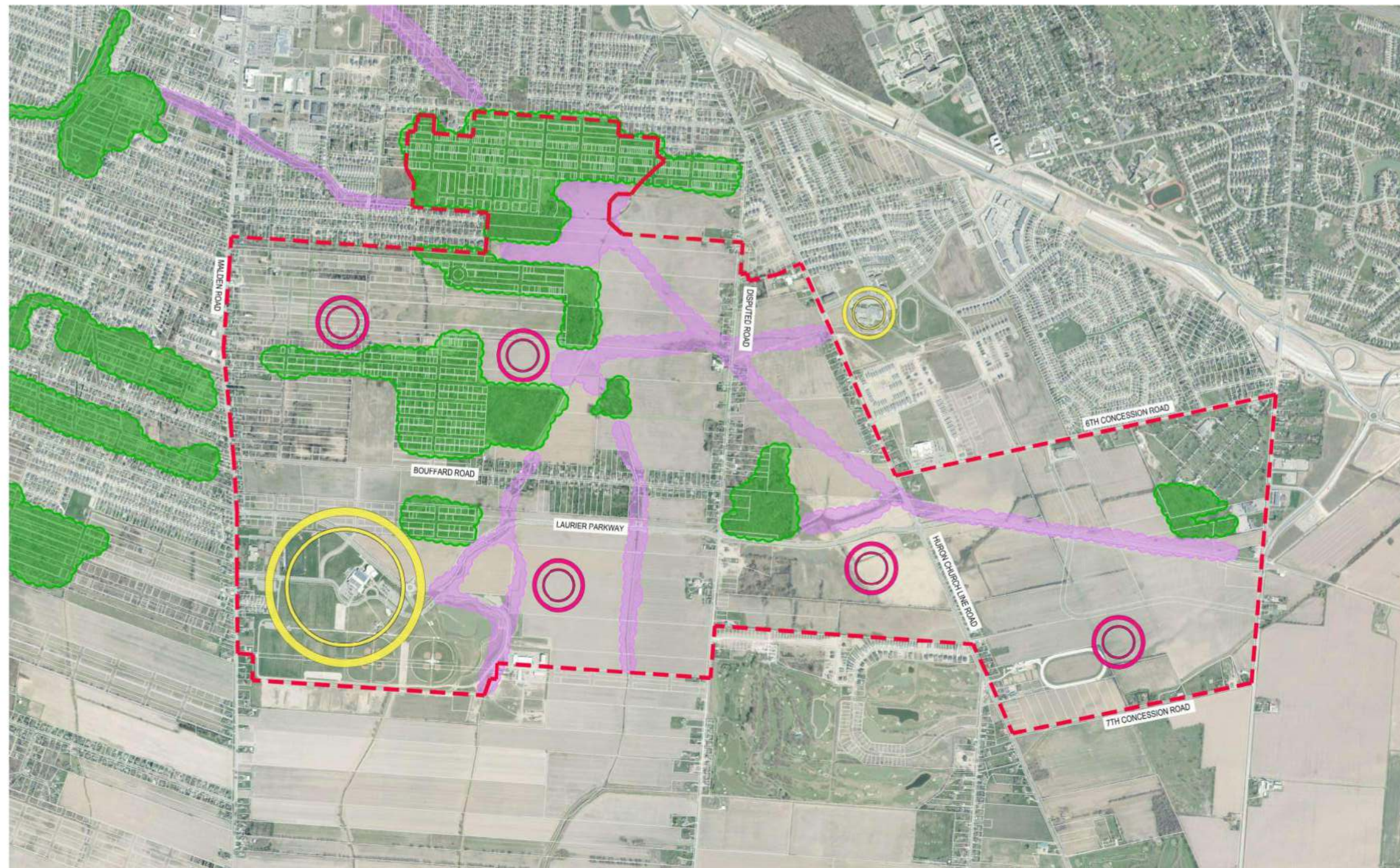
- STUDY AREA
- FOREST (ERNHSS - ERCA)
- OTHER TERRESTRIAL NATURAL FEATURE (ERNHSS - ERCA)
- RESTORATION OPPORTUNITIES (ERCA)
- PROPOSED NATURAL AREA LINKAGES
- HYDRO CORRIDOR ALIGNMENT

The Natural Heritage System (NHS) will be developed based on existing natural features and providing connections between them, both within the Study Area and beyond. The sensitivity and importance of the natural features within and connected to the Study Area are well documented and well known. The goal is to provide additional natural area to enhance the form and function of the NHS on a landscape scale and provide the opportunity for further connections in the future.

Special attention in the development of the NHS will be given to Species at Risk (SAR) and their habitat requirements. It is the intention to develop the characteristics (size, structure, etc.) of the NHS based on the habitat requirements of the known SAR in this area as well as other factors. Where available, relevant documents, such as Recovery Strategies, Government Response Statements, etc., will be consulted.

ALTERNATIVE SOLUTIONS — NATURAL ENVIRONMENT

Core Natural Areas, Linkages & Community Facility/Parkland Locations (2016)



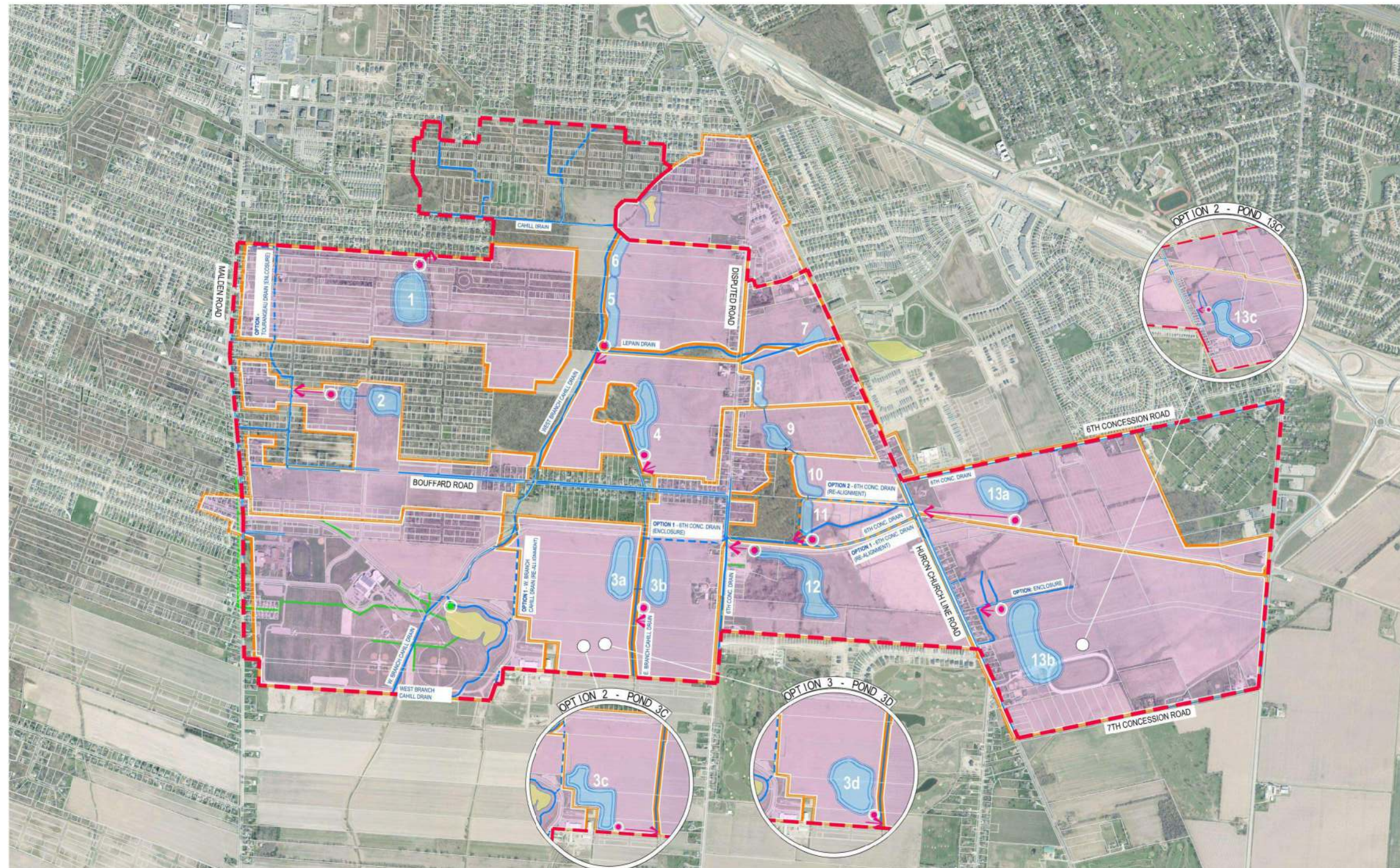
Legend

- STUDY AREA
- EXISTING COMMUNITY FACILITY AND/OR OPEN SPACE
- ALTERNATIVE SOLUTION FOR COMMUNITY FACILITY AND/OR OPEN SPACE
- CORE NATURAL AREA
- ALTERNATIVE SOLUTION FOR CORE NATURAL AREA LINKAGE

Sources: Essex Region Conservation Authority (2016); and County Of Essex Aerial Photograph (2016)

ALTERNATIVE SOLUTIONS – STORMWATER

Pond Locations & Drainage Works (2016)



Legend

- STUDY AREA
- MUNICIPAL DRAIN ALIGNMENT
- OPTION FOR NEW DRAIN ALIGNMENT
- EXISTING STORM SEWER
- PROPOSED DRAINAGE BOUNDARY
- EXISTING POND
- PROPOSED POND
- PROPOSED LINEAR FACILITY
- EXISTING PUMP STATION
- PROPOSED PUMP STATION
- PROPOSED POND OUTLET

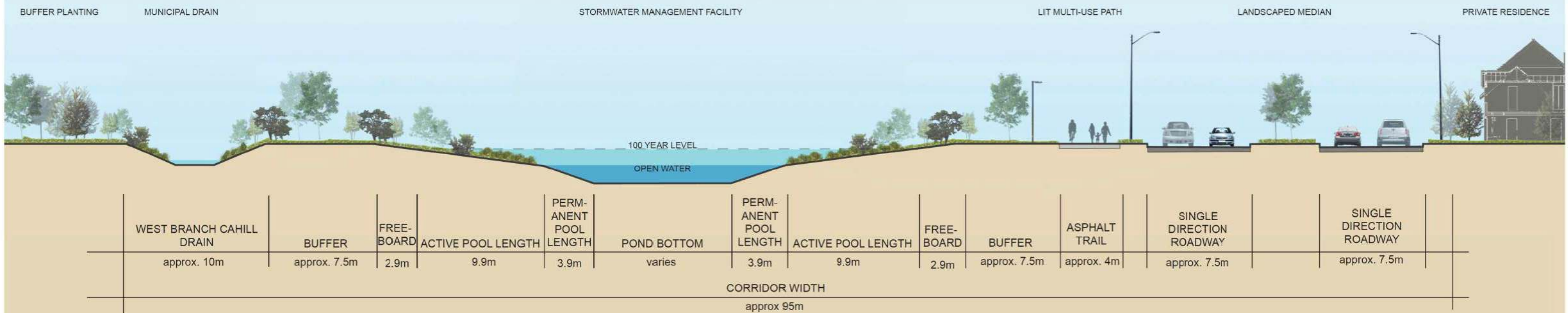
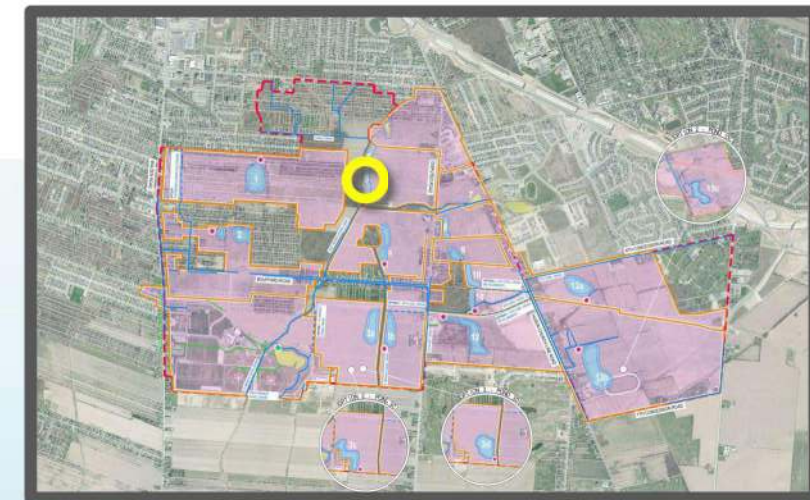
Source: County of Essex Aerial Photograph (2016)

ALTERNATIVE SOLUTIONS - STORMWATER

Illustrative Cross Sections

West Cahill Branch Drain Cross Section

See Pond #5



ALTERNATIVE SOLUTIONS - STORMWATER

Illustrative Cross Sections

Pond #2 Cross Section



STORMWATER MANAGEMENT FACILITY

ROADSIDE / TRAILSIDE LANDSCAPE

LIT MULTI-USE PATH

BUFFER PLANTING

100 YEAR LEVEL

OPEN WATER

POND BOTTOM

varies

PERM-ANENT POOL LENGTH

3.9m

ACTIVE POOL LENGTH

16m

FREE-BOARD

2.9m

NATURAL LANDSCAPE BUFFER

varies

ASPHALT TRAIL

approx. 4m

BOUL- EVARD

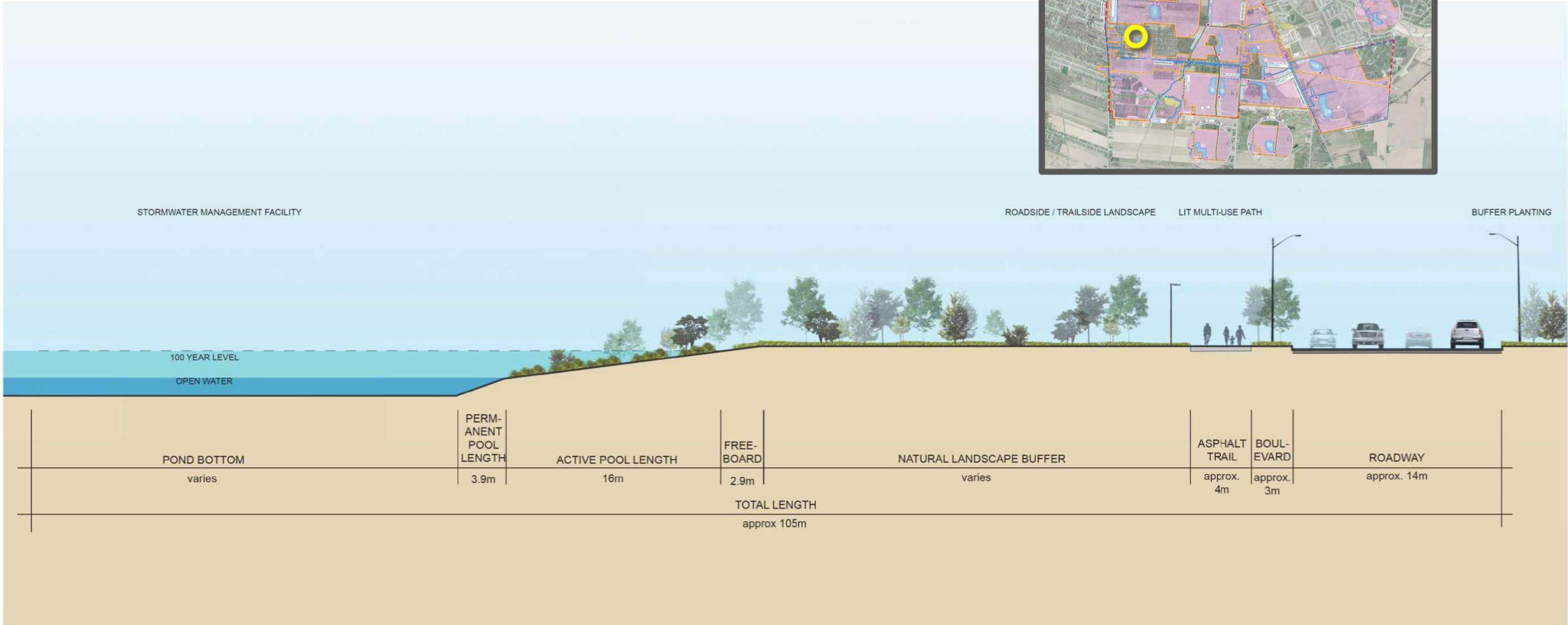
approx. 3m

ROADWAY

approx. 14m

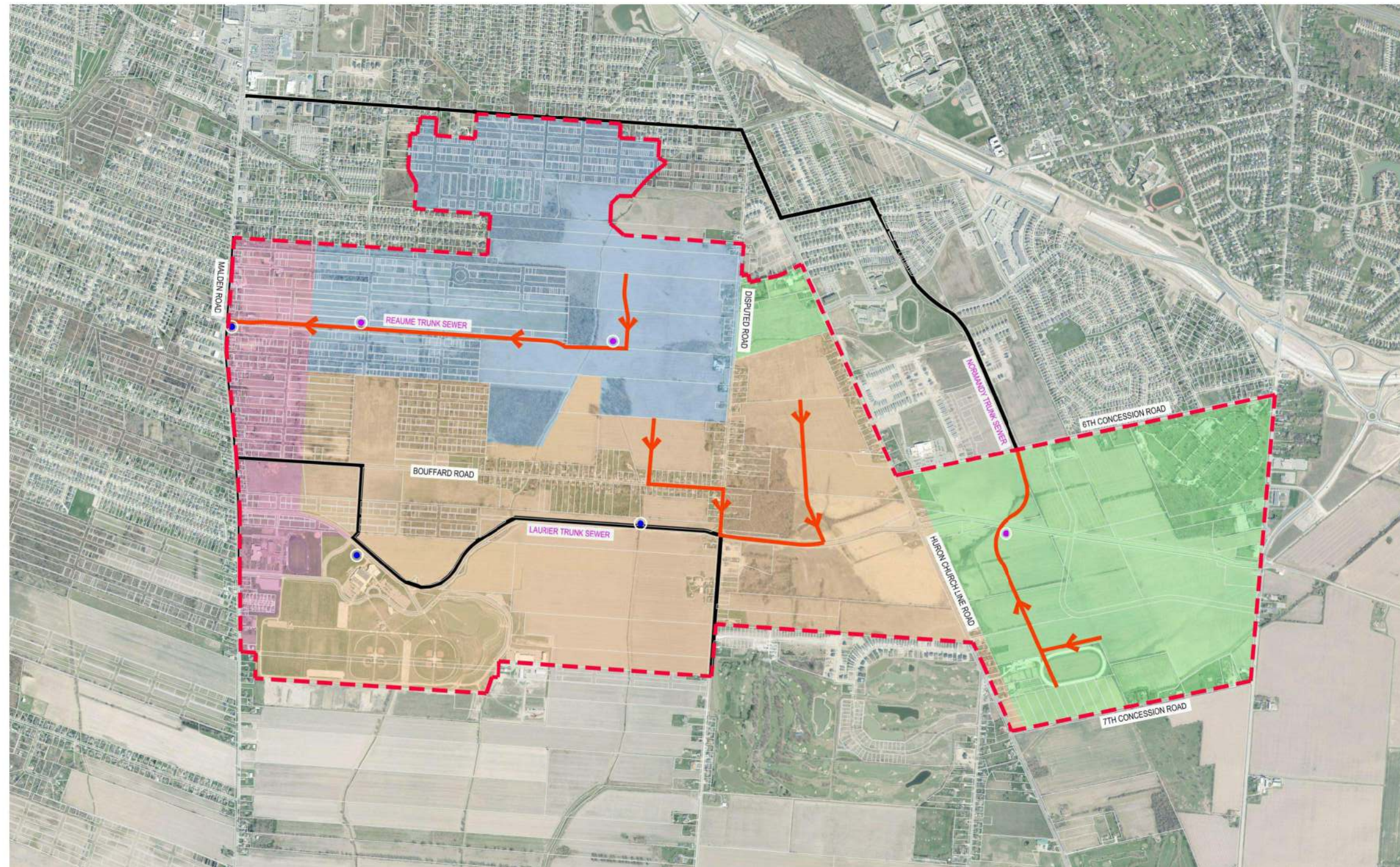
TOTAL LENGTH

approx 105m








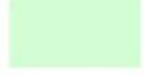



ALTERNATIVE SOLUTIONS - SANITARY

Trunk Sanitary Infrastructure – Option #1 (2016)



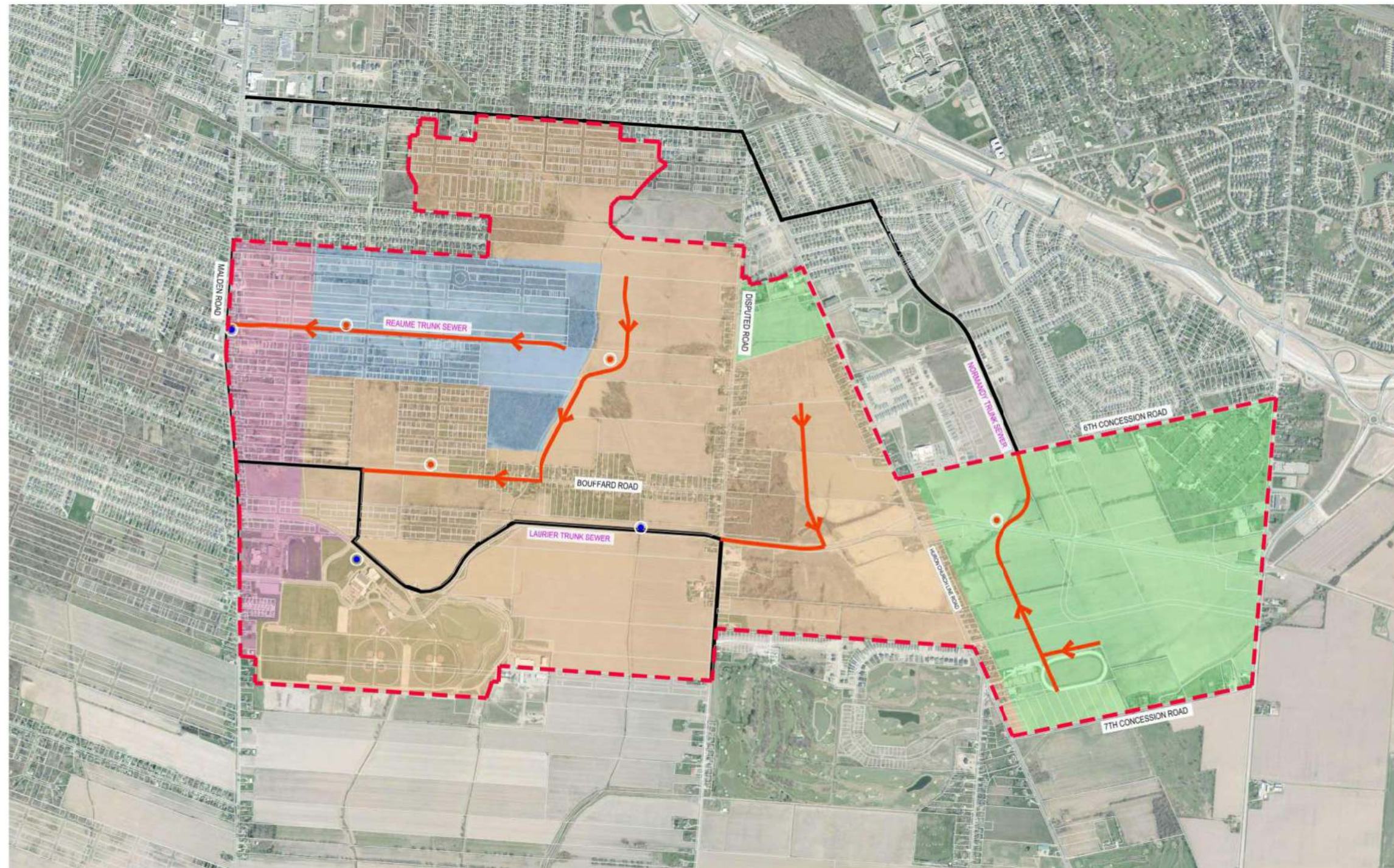
Legend

-  STUDY AREA
-  EXISTING TRUNK SANITARY SEWER
-  OPTION #1 PROPOSED TRUNK SANITARY SEWER
-  EXISTING SANITARY PUMP STATION
-  OPTION #1 PROPOSED SANITARY PUMP STATION
-  OPTION #1 LAURIER SERVICE BOUNDARY
-  OPTION #1 REAUME SERVICE BOUNDARY
-  OPTION #1 NORMANDY SERVICE BOUNDARY
-  OPTION #1 MALDEN SERVICE BOUNDARY

Source: County of Essex Aerial Photograph (2016)

ALTERNATIVE SOLUTIONS - SANITARY

Trunk Sanitary Infrastructure – Option #2 (2016)



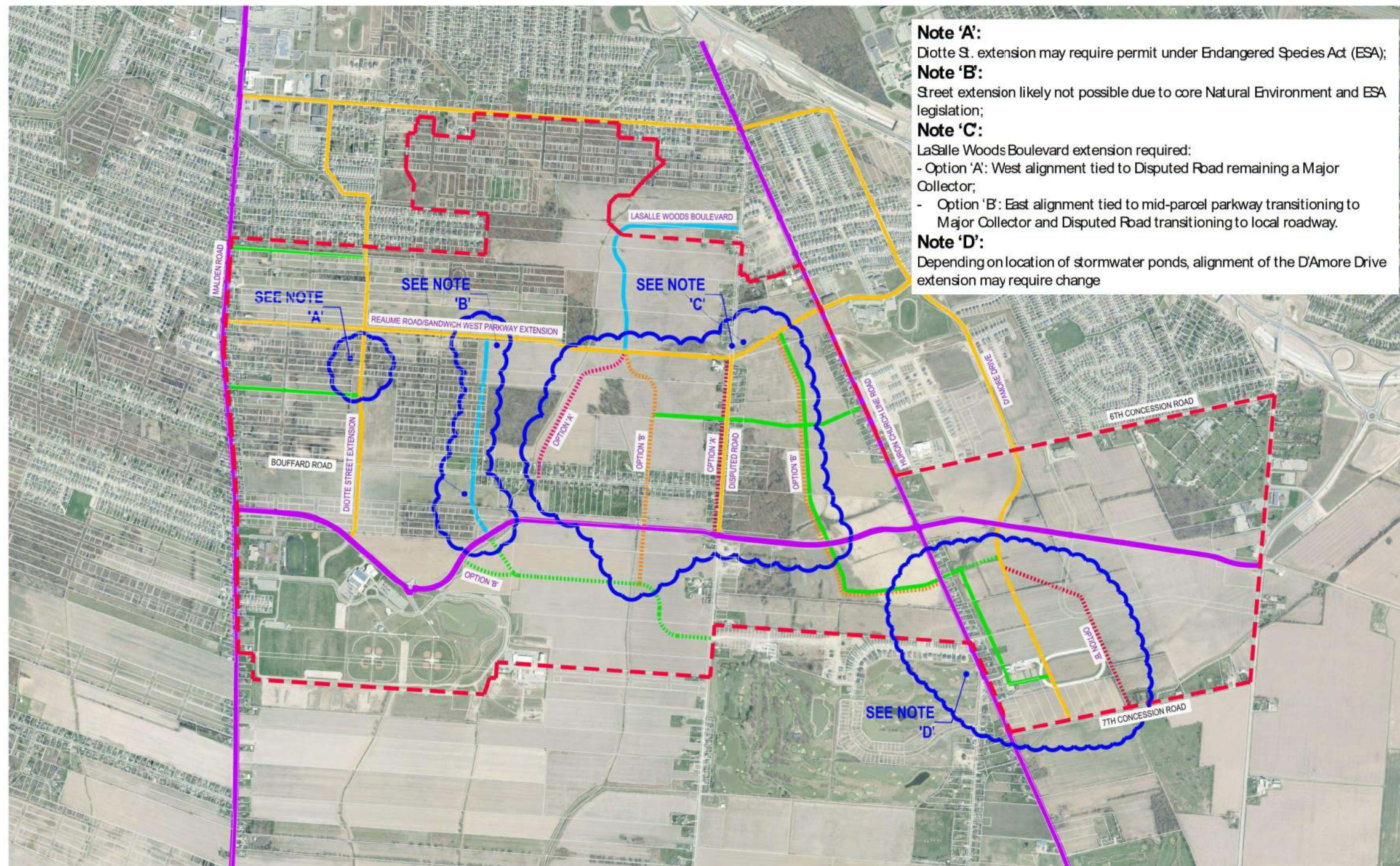
Legend

- STUDY AREA
- EXISTING TRUNK SANITARY SEWER
- OPTION #2 PROPOSED TRUNK SANITARY SEWER
- EXISTING SANITARY PUMP STATION
- OPTION #2 PROPOSED SANITARY PUMP STATION
- OPTION #2 LAURIER SERVICE BOUNDARY
- OPTION #2 REAUME SERVICE BOUNDARY
- OPTION #2 NORMANDY SERVICE BOUNDARY
- OPTION #2 MALDEN SERVICE BOUNDARY

Source: County of Essex Aerial Photograph (2016)

ALTERNATIVE SOLUTIONS - ROADS

Road Classifications (2016)



Note 'A':
Diotte St. extension may require permit under Endangered Species Act (ESA);

Note 'B':
Street extension likely not possible due to core Natural Environment and ESA legislation;

Note 'C':
LaSalle Woods Boulevard extension required:
- Option 'A': West alignment tied to Disputed Road remaining a Major Collector;
- Option 'B': East alignment tied to mid-parcel parkway transitioning to Major Collector and Disputed Road transitioning to local roadway.

Note 'D':
Depending on location of stormwater ponds, alignment of the D'Amore Drive extension may require change

Legend

-  STUDY AREA
-  APPROVED / EXISTING ARTERIAL ROAD
-  APPROVED / EXISTING MAJOR COLLECTOR ROAD
-  APPROVED / EXISTING MAJOR COLLECTOR ROAD (ENHANCED)
-  APPROVED / EXISTING MINOR COLLECTOR ROAD
-  ALTERNATIVE SOLUTION MAJOR COLLECTOR ROAD
-  ALTERNATIVE SOLUTION OPTION 'A' MAJOR COLLECTOR ROAD (ENHANCED)
-  ALTERNATIVE SOLUTION OPTION 'B' MAJOR COLLECTOR ROAD (ENHANCED)
-  PROPOSED MINOR COLLECTOR ROAD
-  ANNOTATION CLOUD

Source: County of Essex Aerial Photograph (2016)

NEXT STEPS

Class EA Addendum and Planning Approvals – Integrated Approach



Thank You For Attending!

Your input is important to the outcome of this project.

Please complete a comment form and return it by:

August 10, 2016

Personal information collected and recorded at the Public Information Centre or submitted in writing on this subject is collected under the authority of the Municipal Act, 2011 and will be used by members of Council and Town of LaSalle staff in their review of this matter. With the exception of personal information, all comments will become part of the public record.

**Town of LaSalle: Bouffard and Howard Planning Area
Class Environmental Assessment Addendum and Planning Act Approvals**

**Public Information Centre #2 – July 27, 2016
Comment Form**

Please complete this form and return it to Dillon Consulting Limited. Information will be collected in accordance with Ontario's *Municipal Freedom of Information and Protection of Privacy Act*. With the exception of personal information all comments will become part of the public record.

Name: _____

Mailing Address: _____

WINDSOR ON. N9E-3N5

I/we prefer to receive information by email.

E-mail: PLEASE MAIL

Comments/ Questions/ Concerns (Use back if more space needed):

- OUR LOTS ^{ARE} LOCATED IN CONSERVATION AREA.

- ROLL # 3734 180 00010300.0000

- GILROY ST PLAN 930 LOTS 134 TO 136

WILL PROPERTY BE EXPROPRIATED, WILL WE BE COMPENSATED FOR TAXES PAID TO THE TOWN FOR ALL THE YEARS WE OWNED PROPERTY?

THANK YOU.

Please deposit this form in the comment box or return by **August 10, 2016** to:

Dillon Consulting Limited
3200 Deziel Drive, Suite 608
Windsor, Ontario, N8W 5K8

Tel: 519-948-5000, extension 3227
Fax: 519-948-5054
E-mail: ktanner@dillon.ca

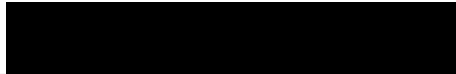
Attention: Karl Tanner, MCIP, RPP

**Town of LaSalle: Bouffard and Howard Planning Area
Class Environmental Assessment Addendum and Planning Act Approvals**

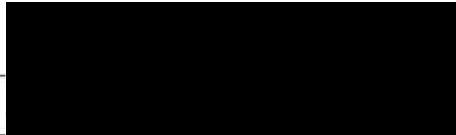
**Public Information Centre #2 – July 27, 2016
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Name:



Mailing Address:



I/we prefer to receive information by email.

E-mail: _____

Comments/ Questions/ Concerns (Use back if more space needed):

Pond

Optim 'B' proposed road layout

Please deposit this form in the comment box or return by **August 10, 2016** to:

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3200 Deziel Drive, Suite 608
Windsor, Ontario, N8W 5K8

Tel: 519-948-5000, extension 3227
Fax: 519-948-5054
E-mail: ktanner@dillon.ca

Attention: Karl Tanner, MCIP, RPP

**Town of LaSalle: Bouffard and Howard Planning Area
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Name: _____

Mailing Address: _____

I/we prefer to receive information by email.

E-mail: _____

Comments/ Questions/ Concerns (Use back if more space needed):

734 92-96

Please deposit this form in the comment box or return by **August 10, 2016** to:

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Tel: 519-948-5000, extension 3227
Fax: 519-948-5054
E-mail: ktanner@dillon.ca

Attention: Karl Tanner, MCIP, RPP

**Town of LaSalle: Bouffard and Howard Planning Area
Class Environmental Assessment Addendum and Planning Act Approvals**

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Comment Form**

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Name: _____

Mailing Address: _____

I/we prefer to receive information by email.

E-mail: _____

Comments/ Questions/ Concerns (Use back if more space needed):

WKS 341 - 342 PL 1256

Interested in providing out final core heritage area.
↓ PIC #3

Please deposit this form in the comment box or return by **August 10, 2016** to:

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Windsor, Ontario, N8W 5K8

Tel: 519-948-5000, extension 3227
Fax: 519-948-5054
E-mail: ktanner@dillon.ca

Attention: Karl Tanner, MCIP, RPP

**Town of LaSalle: Bouffard and Howard Planning Area
Class Environmental Assessment Addendum and Planning Act Approvals**

**Public Information Centre #2 – July 27, 2016
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Name: _____

Mailing Address: _____

I/we prefer to receive information by email.

E-mail: _____

Comments/ Questions/ Concerns (Use back if more space needed):

lots 301 & 309 #34
730 & 734 #34
Interested in purchasing out parcel use heritage areas
↓ PIC #3
[Redacted]
[Redacted]

Please deposit this form in the comment box or return by **August 10, 2016** to:

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Tel: 519-948-5000, extension 3227
Fax: 519-948-5054
E-mail: ktanner@dillon.ca

Attention: Karl Tanner, MCIP, RPP



**Town of LaSalle: Bouffard and Howard Planning Area
Class Environmental Assessment Addendum and Planning Act Approvals**

**Public Information Centre #2 – July 27, 2016
Comment Form**

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Name:

[Redacted Name]

Mailing Address:

[Redacted Mailing Address]

I/we prefer to receive information by email.

E-mail:

Comments/ Questions/ Concerns (Use back if more space needed):

1756 313 316

Please deposit this form in the comment box or return by **August 10, 2016** to:

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Attention: Karl Tanner, MCIP, RPP



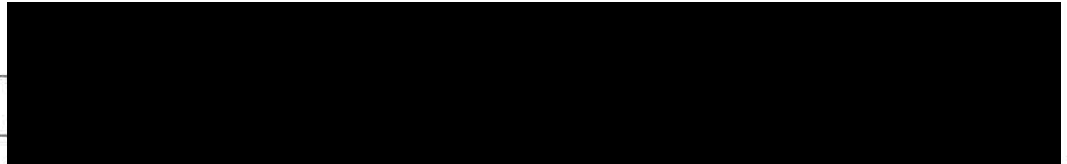
**Town of LaSalle: Bouffard and Howard Planning Area
Class Environmental Assessment Addendum and Planning Act Approvals**

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Name:

Mailing Address:



I/we prefer to receive information by email.

E-mail:



Comments/ Questions/ Concerns (Use back if more space needed):

475-440 20767

Please deposit this form in the comment box or return by **August 10, 2016** to:

Dillon Consulting Limited
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Windsor, Ontario, N8W 5K8

Tel: 519-948-5000, extension 3227
Fax: 519-948-5054
E-mail: ktanner@dillon.ca

Attention: Karl Tanner, MCIP, RPP



**Town of LaSalle: Bouffard and Howard Planning Area
Class Environmental Assessment Addendum and Planning Act Approvals**

**Public Information Centre #2 – July 27, 2016
Comment Form**

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Name: _____

Mailing Address: _____

12145 ST. THOMAS TECUMSHE

I/we prefer to receive information by email.

E-mail: _____

Comments/ Questions/ Concerns (Use back if more space needed):

• Property location - unsure - plan 930.
- no email address.

Please deposit this form in the comment box or return by **August 10, 2016** to:

Dillon Consulting Limited
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Windsor, Ontario, N8W 5K8

Tel: 519-948-5000, extension 3227
Fax: 519-948-5054
E-mail: ktanner@dillon.ca

Attention: Karl Tanner, MCIP, RPP



White, Harry <hwhite@dillon.ca>

Fwd: FW: Bouffard and Howard Planning Area

Tanner, Karl <ktanner@dillon.ca>
To: Harry White <hwhite@dillon.ca>

30 August 2016 at 13:31



70 years

Karl Tanner
Partner
Dillon Consulting Limited
3200 Deziel Drive Suite 608
Windsor, Ontario, N8W 5K8
T - 519.948.4243 ext. 3227
F - 519.948.5054
M - 519.791.2168
KTanner@dillon.ca
www.dillon.ca

Please consider the environment before printing this email

----- Forwarded message -----

From: Larry Silani <lsilani@lasalle.ca>
Date: Wed, Aug 24, 2016 at 12:23 PM
Subject: FW: Bouffard and Howard Planning Area
To: "Tanner, Karl" <ktanner@dillon.ca>
Cc: Allen Burgess <aburgess@lasalle.ca>

Karl... can you respond... thanks

From [REDACTED]
Sent: August 24, 2016 12:22 PM
To: Larry Silani <lsilani@lasalle.ca>; ktanner@dillon.ca
Subject: Bouffard and Howard Planning Area

Good day Larry and Karl,

My name is [REDACTED]

[REDACTED] is a real estate holding company and the registered owner of the land and building located at [REDACTED] off the Sixth Concession. [REDACTED] operates from this location manufacturing diesel fuel tanks and hydraulic reservoirs for the trucking industry. We moved [REDACTED] during the summer of 2015 when the purchase of the land and building at [REDACTED] was completed in May of 2015.

We received a letter addressed to [REDACTED] on August 22, 2016 pertaining to Public Information Centre #2 for the Bouffard and Howard Planning Area.

Unfortunately, only mail addressed to [REDACTED] is being forwarded to our new address by Canada Post so we have not received PIC #1 information at all. We are fortunate that the new owners of our old building finally figured out that we were the intended recipients of the PIC#2 letter.

We have the following Concerns.

We purchased the land and building at [REDACTED] because the street is designated for Industrial use (M1-3). A look at maps before we bought (and today) of the Town of LaSalle found on the town webpage, show that Howard Business Parkway is planned to intersect Laurier Parkway and connect to Howard south of Laurier Parkway in the future, a development we were pleased to see. We saw Industrial Lots, 1 to 6 acres, for sale advertised on Laurier Parkway for our area. We do not want to be in a situation where our manufacturing plant is next to a residential subdivision. The name of the street would clearly suggest that it is a business street and we expect to have industrial neighbors.

If residential subdivisions are allowed in our vicinity, please make sure that there are adequate buffer/green spaces between the industrial area and the residential area. The Town of Tecumseh didn't do this at the former Green Giant plant and the subdivisions that they allowed to be built around it has resulted in past and on-going continuous disputes between the residents, the town and the daily operations at the plant (noise and smell).

As more people are drawn to our area, the amount of traffic and congestion will increase. More "kids" will trespass on our property than they do now and more dumping on our property will occur than what takes place now. Installing security fences and gates is not an "investment" that we want to make. Being zoned industrial means that we have large trucks entering and exiting our property many times per day, not the type of traffic that should be rolling through a subdivision.

We do not support any amendments to zoning by-laws that impact areas already designated as M1-3

Please note that future correspondence for [REDACTED] should be sent to:

[REDACTED]

[REDACTED]

[REDACTED]

regards,

[REDACTED]

[REDACTED]
[REDACTED]

PLEASE NOTE: The preceding information may be confidential or privileged.
It should only be used or disseminated for the purpose of conducting business with Propower.
If you are not an intended recipient, please notify the sender by replying to this message and then delete the information from your system.
"Thank you for your cooperation."



White, Harry <hwhite@dillon.ca>

Fwd: FW: Bouffard and Howard planning area

Tanner, Karl <ktanner@dillon.ca>
To: Harry White <hwhite@dillon.ca>

30 August 2016 at 17:46

Karl Tanner
Partner
Dillon Consulting Limited
(m) 519-791-2168
(o) 519-948-5000

----- Forwarded message -----
From: "Larry Silani" <lsilani@lasalle.ca>
Date: Aug 29, 2016 1:08 PM
Subject: FW: Bouffard and Howard planning area
To: "Tanner, Karl" <ktanner@dillon.ca>
Cc:

Karl... can you respond... thanks

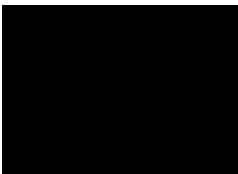
From: [REDACTED]
Sent: August 29, 2016 10:19 AM
To: Larry Silani <lsilani@lasalle.ca>
Subject: Bouffard and Howard planning area

Hello Larry,

this email ia with regards to the public meeting #2 on the Bouffard and Howard planning area. We unfortunately were unable to attend the July 27th meeting. We are holders of lots 23-28 [inclusive] on the original Maurice St. and we're wondering if you could provide information on whether any plans for this parcel have been put forward.

we appreciate your time on this matter

Kindly,





Golob, Pablo <pgolob@dillon.ca>

Fwd: Town of LaSalle: Bouffard and Howard Planning Area

1 message

White, Harry <hwhite@dillon.ca>
To: Pablo Golob <pgolob@dillon.ca>

Wed, Jan 18, 2017 at 4:27 PM

----- Forwarded message -----

From: Tanner, Karl <ktanner@dillon.ca>

Date: 8 December 2016 at 10:43

Subject: Re: Town of LaSalle: Bouffard and Howard Planning Area

To: [REDACTED]
Cc: Larry Silani <lsilani@town.lasalle.on.ca>, "Riddell, Heather (MNR)" <Heather.Riddell@ontario.ca>, Harry White <hwhite@dillon.ca>, Pete Marra <pmarra@town.lasalle.on.ca>, "Hernould, Cara (MNR)" <Cara.Hernould@ontario.ca>

[REDACTED]

We are glad to see that you have received our notice for PIC#3 and thank you for your comments.

We noted your previous comments in November including the responses provided to you by the Town and various approval authorities.

As you are likely aware, we are the consultant responsible for the preparation of the amendments to the Class Environmental Assessment in Bouffard Howard Planning Districts that will address:

- storm sewers;
- drainage areas;
- stormwater management ponds;
- trunk sanitary sewers; and
- arterial and collector road systems.

We noted your specific concerns and the responses you received from the Town in November related to the potential development of your lands. Your letter was instrumental and provided the opportunity to confirm with the Town and other approval agencies that: addressing the complex environmental issues is beyond the scope of this project and are best dealt with during the development approval process. Development approvals can consist of a range of municipal, county and provincial approvals that are a separate process(es) and are required for all development in the Town.

Subsequent to your letter there have been a number of constructive project meetings and discussions with the Town and other approval agencies. We agree with Mr. Silani's response to you on November 14, 2016 when he indicated that owners will need to follow the mandated approval process in order to satisfy MNR Endangered Species Act legislation and the new County of Essex Official Plan Natural Heritage Policies should someone wish to pursue a development application on lands that they own.

We encourage you to investigate what is required on your part, as a private property owner to move your property closer to development.

Again, we appreciate your comments as they have broadened the conversation around development in the Bouffard Howard Planning Districts and will be incorporated in the final report.

We look forward to seeing you at PIC#3 on December 15, 2016.

Regards
Karl



Karl Tanner
Partner
Dillon Consulting Limited
3200 Deziel Drive Suite 608
Windsor, Ontario, N8W 5K8
T - 519.948.4243 ext. 3227
F - 519.948.5054
M - 519.791.2168
KTanner@dillon.ca
www.dillon.ca

Please consider the environment before printing this email

On Wed, Dec 7, 2016 at 6:05

Mr. Tanner:

Today we received your (undated) letter regarding the "Town of LaSalle: Bouffard and Howard Planning Area", informing us of the upcoming December 15, 2016, open house.

Relating to the above, we wish to inform you that apologizing and taking full responsibility 21 days after having cancelled, on the last minute, the last open house that was supposed to be held on November 16, it is a little too late, especially after we had summoned my daughter in law from Amherstburg to attend with us. We also wish to inform you that we were surprised and disappointed that you never answered the email we sent you on November 2, 2016. For this you don't have to feel bad, though, as, of all the other addressees, only Mr. Silani, Ms. Crystal Meloche and the Ministry of the Environment, answered...

We hope we can have a conversation on December 15, but, before that happens, we cannot stress this strongly enough one more time: those of us who cannot develop because of environmental reasons, should be duly compensated, regardless which authority this issue falls under, because those who can develop will benefit at the expense of those who can't.

Best regards,



Harry White
Dillon Consulting Limited
3200 Deziel Drive Suite 608
Windsor, Ontario, N8W 5K8
T - 519.948.5000 ext. 3217
F - 519.948.5054
HWhite@dillon.ca
www.dillon.ca

Please consider the environment before printing this email

Appendix E

Public Information Centre #3

- Notice of Commencement and PIC

- Mailing List

- Attendance Sheet

- Presentation Package

- Comments

**Town of LaSalle: Bouffard and Howard Planning Area
Class Environmental Assessment Addendum and Planning Act Approvals**

Notice of Public Information Centre No. 3

Dillon Consulting Limited apologizes and takes full responsibility for any confusion associated with the rescheduling of PIC #3. We have taken additional time to consider important information received from the various approval agencies. It is important that as we develop the Preferred Alternative Solutions for presentation at this Final Public Information Center, the information you receive is accurate and representative of the various issues associated with development of the Bouffard Howard Planning Area.

Dillon Consulting Limited has been retained to amend the existing Bouffard and Howard Class EA Reports and prepare plans to allow for the development of the Bouffard and Howard Planning Area, in the Town of LaSalle. The study area is shown in the map below. The Town of LaSalle has studied the feasibility to developing this area for several years and has invested in infrastructure in the area, including constructing Laurier Parkway. At this time, several local landowners have retained Dillon Consulting Limited to work with the Town of LaSalle and with provincial and regional agencies, to review and update the existing Class EA and to obtain corresponding Planning Act approvals.

An addendum is being prepared to two previous Class Environmental Assessment (EA) studies:

- Bouffard and Howard Planning Districts Master Servicing Study (2002)
- Bouffard and Howard Planning Districts Functional Design Study (2005).

Both studies were completed following the requirements of the Municipal Class EA for Schedule B undertakings. The purpose of the EA Addendum is to review and update both reports and prepare one comprehensive plan for the study area. The EA Addendum will be completed following the Integrated Approach outlined in the Municipal Class EA (2000, as amended) and will include obtaining Planning Act approvals at the same time as the EA approval.

In general, the addendum will focus on:

Part 1

- Revisions to drainage area boundaries, including revision to the number and location of stormwater ponds shown in the 2005 study.
- Confirm the location and size of the trunk storm sewers, trunk sanitary sewers and locations of collector and arterial roads.
- Confirm the location and size of natural environment areas and corridors.

Part 2

- Approval for a number of proposed developments in the area, including Draft Plans of Subdivision, Official Plan and Zoning By-law amendments.

Public Information Centre No. 3

PIC No. 3 is the final meeting specifically designed for public input into Part 1 of the Addendum. PIC No. 3 will provide preferred solutions in the Bouffard Howard Planning Areas related to:

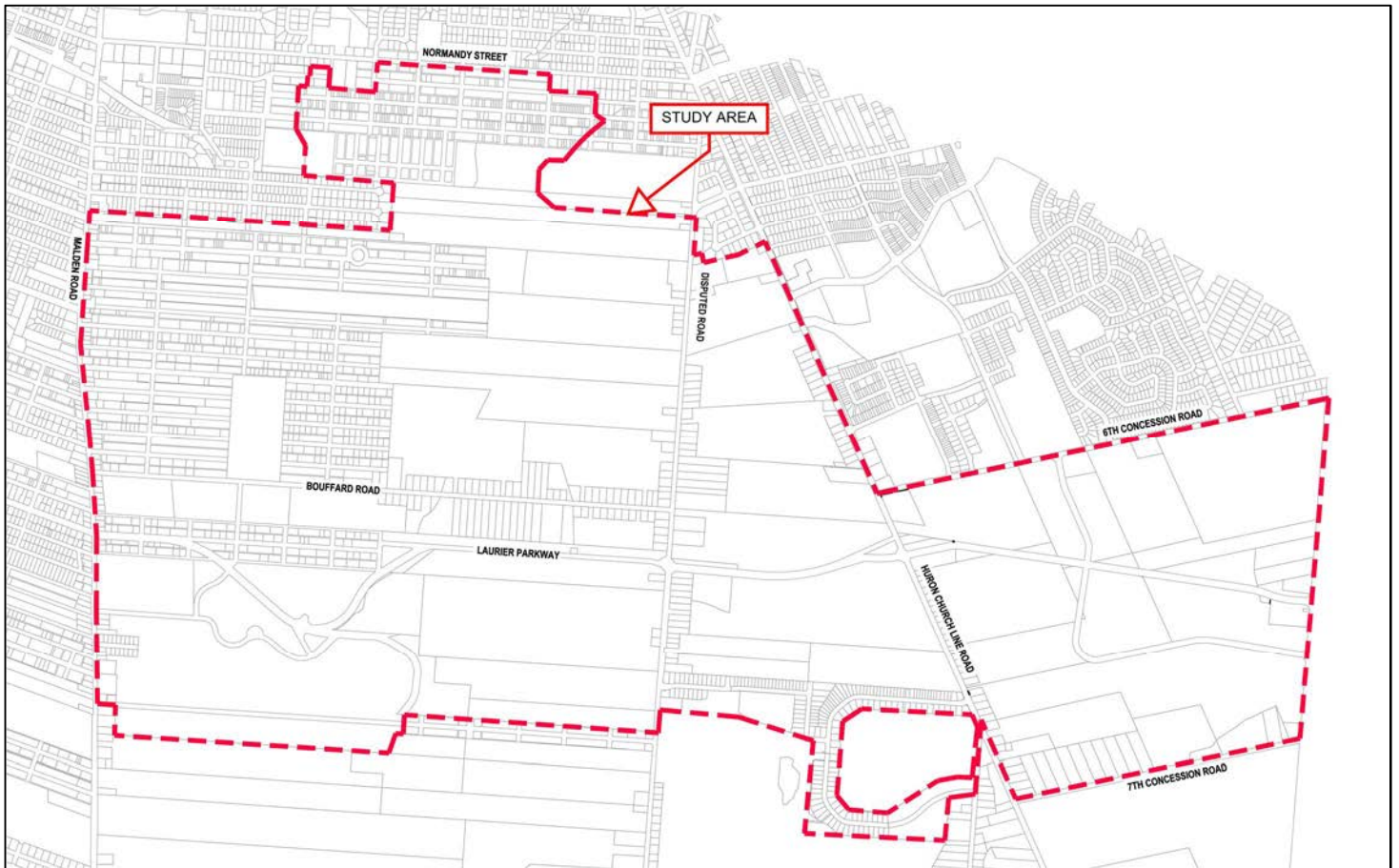
- Trunk sanitary sewers and pump stations;
- Trunk storm sewer pump stations;
- Location and size of stormwater ponds; and
- Location of arterial and collector roadways.

You will receive additional notices as Planning Act Applications are submitted to the various approval agencies (Part 2 of this Addendum).

These amendments will guide future development in the Bouffard Howard Planning Areas over the next 20 years.

Public Information Centre No. 3	
Date:	December 15, 2016
Time:	4:00pm - 7:00pm
Location:	LaSalle Town Hall 5950 Malden Road LaSalle, Ontario
Format:	Open house/drop-in format with staff available to answer questions

Following PIC No. 3 and the preparation of the Study Report, the focus will shift to the Planning Act Applications.



Public Comments Invited

At any time during this study, interested persons have an opportunity to provide comments, questions and concerns to the study team at the contact below.

Information collected for the study will be used in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*. With the exception of personal information, such as name, address and property location, all comments received throughout the study will become part of the public record and included in project documentation.

For further information or to provide comments or to be added to the mailing list, please contact:

Karl Tanner, MCIP RPP
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3200 Deziel Drive, Suite 608
Windsor, ON, N8W 5K8
Tel: 519.948.5000 ext. 3227
Email: ktanner@dillon.ca

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Director of Development & Strategic Initiatives
Town of LaSalle
5950 Malden Road
LaSalle, ON N9H 1S4
Tel: 519.969.7770 ext. 1288
Email: lsilani@town.lasalle.on.ca

[REDACTED]
16 ISLAND PARK CRT
LEAMINGTON ON N8H 5C9

[REDACTED]
4510 RHODES DRIVE, UNIT 520
WINDSOR ON
N8W 5K5

[REDACTED]
C/O 2985 DOUGALL AVE
WINDSOR ON N9E 1S1

[REDACTED]
5160 O'NEIL DR
OLDCASTLE ON N0R 1L0

[REDACTED]
3495 VICTORIA BLVD
WINDSOR ON N9E 4J8

[REDACTED]
4510 RHODES DRIVE, UNIT 520
WINDSOR ON
N8W 5K5

[REDACTED]
468 LAPORTE AVE
WINDSOR ON N8S 3R2

[REDACTED]
2870 BOUFFARD RD
WINDSOR ON N9H 1W5

[REDACTED]
2625 BOUFFARD RD
WINDSOR ON N9H 1W3

[REDACTED]
C/O 276 RUGGABER DR
WINDSOR ON N8N 4N8

[REDACTED]
2735 BOUFFARD RD
WINDSOR ON N9H 1W3

[REDACTED]
6740 DISPUTED RD
WINDSOR ON N9H 1Y1

[REDACTED]
745 MASSIMO CRES
WINDSOR ON N9G 3C7

[REDACTED]
2760 BOUFFARD RD
WINDSOR ON N9H 1W2

[REDACTED]
2628 NORTHWAY AVE
WINDSOR ON N9E 4N9

[REDACTED]
1540 NORMANDY ST
WINDSOR ON N9J 1Y1

[REDACTED]
9156 TECUMSEH RD E
WINDSOR ON N8R 1A2

[REDACTED]
PO BOX 1467 STN A
5245 HOWARD AVE
WINDSOR ON N9A 6R5

[REDACTED]
1715 KAVANAGH DR
WINDSOR ON N9N 4R3

[REDACTED]
1120 ELFRIEDE DR
WINDSOR ON N8X 5A1

[REDACTED]
4214 STAGECOACH AVE
BOX 11
WINDSOR ON N9G 2W8

[REDACTED]
12482 LANOUE ST
WINDSOR ON N8N 4S3

[REDACTED]
675 CABANA RD E
WINDSOR ON N9G 1A6

[REDACTED]
1294 KAMLOOPS ST
WINDSOR ON N8W 5V2

[REDACTED]
1621 RANDOLPH AVE
WINDSOR ON N9B 2V7

[REDACTED]
2137 NORTH 1ST AVE
BARRY IL 62312

[REDACTED]
3807 MONTCALM ST
WINDSOR ON N9C 2B1

[REDACTED]
800 PARKSIDE AVE
PITTSBURGH PA 15228

[REDACTED]
3035 BOUFFARD RD
WINDSOR ON N9H 1W4

[REDACTED]
6560 DISPUTED RD
WINDSOR ON N9H 1X9

[REDACTED]
[REDACTED]
2665 BOUFFARD RD
WINDSOR ON N9H 1W3

[REDACTED]
4689 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
C/O RR 3 STN A
1650 SEVENTH CON RD
WINDSOR ON N9A 6Z6

[REDACTED]
1870 MEAGAN DR
WINDSOR ON N9J 3K7

[REDACTED]
1311 HARVEST BEND RD
WINDSOR ON N9H 2B5

[REDACTED]
4675 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
64 HAILEYBURY DR
SCARBOROUGH ON M1K 4X5

[REDACTED]
[REDACTED]
1939 CASTLETON AVE
WINDSOR ON N8P 1P6

[REDACTED]
3040 BOUFFARD RD
WINDSOR ON N9H 1W5

[REDACTED]
[REDACTED]
935 ELSMERE AVE
WINDSOR ON N9A 2A8

[REDACTED]
7870 BERNICE CRT
ROHNERT PARK CA 94928

[REDACTED]
[REDACTED]
60 EVERETT RD
COBOCONK ON K0M 1K0

[REDACTED]
[REDACTED]
[REDACTED]
2860 BOUFFARD RD
WINDSOR ON N9H 1W5

[REDACTED]
PROPERTY TAX DEPARTMENT
PO BOX 86, STATION ST JACQUES
STATION K
MONTREAL QC H3C 1C5

[REDACTED]
[REDACTED]
2496 DANDURAND BLVD
WINDSOR ON N9E 2C9

[REDACTED]
[REDACTED]
4755 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
4585 HURON CHURCH LINE RD
WINDSOR ON N9H 1H3

[REDACTED]
[REDACTED]
4455 CHERRY HILL RD
WINDSOR ON N9G 2P5

[REDACTED]
[REDACTED]
479 CORBETT DR
WINDSOR ON N8N 4R6

[REDACTED]
33 TEXAS RD
AMHERSTBURG ON N9V 2R8

[REDACTED]
[REDACTED]
6435 DISPUTED RD
WINDSOR ON N9H 1X8

[REDACTED] K
796 MONMOUTH RD
WINDSOR ON N8Y 3L2

[REDACTED]
[REDACTED]
2955 BOUFFARD RD
WINDSOR ON N9H 1W4

[REDACTED]
113 MARLIN AVE
WINDSOR ON N8W 2B2

[REDACTED]
2635 BOUFFARD RD
WINDSOR ON N9H 1W3

[REDACTED]
406-3140 MEADOWBROOK LN
WINDSOR ON N8T 3M5

[REDACTED]
[REDACTED]
1109 REGENCY CRES
SS 2
BELLE RIVER ON NOR 1A0

[REDACTED]
6685 DISPUTED RD
WINDSOR ON N9H 1Y2

[REDACTED]
119 SYLVANO CRES
WINDSOR ON N9K 1E4

[REDACTED]
23243 HARVARD SHORE DR
CLINTON MI
USA 48035

[REDACTED]
[REDACTED]
[REDACTED]
1642 ST PATRICK'S AVE
WINDSOR ON N9B 3K6

[REDACTED]
1347 HARVEST BEND RD
WINDSOR ON N9H 2B5

[REDACTED]
1830 MEAGAN DR
WINDSOR ON N9J 3K7

[REDACTED]
[REDACTED]
515 KENWOOD ST
WINDSOR ON N9J 1R9

[REDACTED]
[REDACTED]
2775 BOUFFARD RD
WINDSOR ON N9H 1W3

[REDACTED]
4795 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
[REDACTED]
4705 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
20 BLOORVIEW PLACE
SUITE 1509
TORONTO ON M2J 0A6

[REDACTED]
6215 DISPUTED RD
WINDSOR ON N9H 1X6

[REDACTED]
1865 MEAGAN DR
WINDSOR ON N9J 3K7

[REDACTED]
[REDACTED]
4775 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
667 MCKAY AVE
WINDSOR ON N9B 1Z9

[REDACTED]
2540 MCKAY AVE
WINDSOR ON N9E 2P5

[REDACTED]
RR 3 STN A
1620 SIXTH CON RD
WINDSOR ON N9A 6Z6

[REDACTED]
[REDACTED]
2915 BOUFFARD RD
WINDSOR ON N9H 1W4

[REDACTED]
226 FAIRWAY CRES
WINDSOR ON N8N 2Z1

[REDACTED]
[REDACTED]
1298 FRONT RD N
RR 3
AMHERSTBURG ON N9V 3R3

[REDACTED]
[REDACTED]
2710 BOUFFARD RD
WINDSOR ON N9H 1W2

[REDACTED]
4591 TIMBER TRAIL
WINDSOR ON N9G 2W4

[REDACTED]
[REDACTED]
116 REMO CRES
RR 4
BELLE RIVER ON NOR 1A0

[REDACTED]
4569 LAKE GRANDE CRT
WINDSOR ON N9G 2R3

[REDACTED]
23121 COUNTRYVIEW FLAT
ROCK MI USA 48134

[REDACTED]
[REDACTED]
6660 DISPUTED RD
WINDSOR ON N9H 1Y1

[REDACTED]
[REDACTED]
6611 HUNT RD
W BLOOMFIELD MI 48324

[REDACTED]
12744 KIMBERLY DR
WINDSOR ON N8N 3N5

[REDACTED]
2850 ACADEMY DR
WINDSOR ON N9E 2H1

[REDACTED]
RR 3 BOX 921
AMHERSTBURG ON N9V 3R3

[REDACTED]
1157 ELSMERE AVE
WINDSOR ON N9A 2B1

[REDACTED]
25 SPORTSWORLD CROSSING RD
KITCHENER ON N2P 0A5

[REDACTED]
535 NORTH TALBOT
WINDSOR ON N9J 1M8

[REDACTED]
[REDACTED]
1414 ROXBOROUGH AVE
WINDSOR ON N9B 3H3

[REDACTED]
355 BARRY AVE
WINDSOR ON N8N 2G2

[REDACTED]
[REDACTED]
138 WAKEFIELD DR
MACON GA 31210

[REDACTED]
[REDACTED]
2610 BOUFFARD RD
WINDSOR ON N9H 1W2

[REDACTED]
7290 MALDEN RD
WINDSOR ON N9J 2T7

[REDACTED]
[REDACTED]
4680 HURON CHURCH LINE RD
WINDSOR ON N9H 1H4

[REDACTED]
5358 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
6720 DISPUTED RD
WINDSOR ON N9H 1Y1

[REDACTED]
[REDACTED]
7010 DISPUTED RD
RR 3
WINDSOR ON N9A 6Z6

[REDACTED]
[REDACTED]
2335 GRAND MARAIS RD W
WINDSOR ON N9E 4C6

[REDACTED]
1237 ASHBERRY PL
WINDSOR ON N9H 2A9

[REDACTED]
[REDACTED]
424 HILGARD COVE
SANDFORD FL USA 32771

[REDACTED]
6425 DISPUTED RD
WINDSOR ON N9H 1X8

[REDACTED]
4665 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
[REDACTED]
5030 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
[REDACTED]
2587 WESTBROOK RD
RR 1
SMITHVILLE ON L0R 2A0

[REDACTED]
[REDACTED]
4419 STAFFORD RD
ASHTABULA OH 44004

[REDACTED]
3820 KATHLEEN ST
WINDSOR ON N9G 1P9

[REDACTED]
1680 CAMPBELL AVE
WINDSOR ON N9B 2K6

[REDACTED]
206 GREENGABLE CRT
KITCHENER ON N2N 3A9

[REDACTED]
3463 OUELLETTE AVE
WINDSOR ON N9E 3M1

[REDACTED]
3442 HOWARD AVE
WINDSOR ON N9E 3N5

[REDACTED]
[REDACTED]
6855 DISPUTED RD
WINDSOR ON N9H 1Y3

[REDACTED]
4455 HURON CHURCH LINE RD
WINDSOR ON N9H 1H3

[REDACTED]
1770 ST CLAIR AVE
WINDSOR ON N9B 3T7

[REDACTED]
[REDACTED]
1915 OMIRA ST
WINDSOR ON N9H 1R4

[REDACTED]
1643 PARTINGTON AVE
WINDSOR ON N9B 2P9

[REDACTED]
881 GRAND MARAIS RD W
WINDSOR ON N9E 1C2

[REDACTED]
757 FRONT RD N
AMHERSTBURG ON N9V 2V6

[REDACTED]
1095 ST MARY'S BLVD
WINDSOR ON N8S 2V3

[REDACTED]
1767 PARTINGTON AVE
WINDSOR ON N9B 2R2

[REDACTED]
4545 HOWARD AVE
WINDSOR ON N9G 1P6

[REDACTED]
6690 DISPUTED RD
WINDSOR ON N9H 1Y1

[REDACTED]
1520 STUART BLVD
WINDSOR ON N9J 1Y6

[REDACTED]
2986 GRANDVIEW ST
WINDSOR ON N8T 2L7

[REDACTED]
7 ERIE GLEN CRES
LEAMINGTON ON N8H 5K2

[REDACTED]
7010 DISPUTED RD RR 3
WINDSOR ON N9A 6Z6

[REDACTED]
6650 DISPUTED RD
WINDSOR ON N9H 1Y1

[REDACTED]
8735 BRODERICK RD
RR 3
WINDSOR ON N9A 6Z6

[REDACTED]
4C-620 SOUTH CENTER
ROYAL OAK MI USA 48067

[REDACTED]
ESTATE 1907 LUXURY AVE
WINDSOR ON N8P 1T2

[REDACTED]
1294 JANETTE AVE
WINDSOR ON N8X 1Y6

[REDACTED]
6725 DISPUTED RD
WINDSOR ON N9H 1Y2

[REDACTED]
6835 DISPUTED RD
WINDSOR ON N9H 1Y3

[REDACTED]
8888 RIVERSIDE DR E
APT 608
WINDSOR ON N8S 1H2

[REDACTED]
2505 TIVOLI AVE
WINDSOR ON N8P 0A8

[REDACTED]
1725 ST CLAIR AVE
WINDSOR ON N9B 3T7

[REDACTED]
360 FAIRVIEW AVE W SUITE 311
ESSEX ON N8M 1Y6

[REDACTED]
WINDSOR ON N8Y 4R4

[REDACTED]
5380 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
840 NORWICK RD
NEWMARKET ON L3X 1K8

[REDACTED]
503 OAKFIELD CRT
WINDSOR ON N8N 4B2

[REDACTED]
1506 CORTINA CRT
TECUMSEH ON N8N 5A7

[REDACTED]
2765 BOUFFARD RD
WINDSOR ON N9H 1W3

[REDACTED]
5265 HOWARD AVE
RR3
WINDSOR ON N9A 6Z6

[REDACTED]
12311 VERDANT CRT
WINDSOR ON N9K 1B4

[REDACTED]
2850 BOUFFARD RD
WINDSOR ON N9H 1W5

[REDACTED]
4815 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
131 N CARDINAL ST
WICHITA KS 67230

[REDACTED]
2645 BOUFFARD RD
WINDSOR ON N9H 1W3

[REDACTED]
4 - 130 CABELA WEST BLVD
DUNDEE MI USA 48131

[REDACTED]
5340 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
2199 BLACKACRE DR
OLDCASTLE ON N0R 1L1

[REDACTED]
1450 STUART BLVD
WINDSOR ON N9J 1Y6

[REDACTED]
2660 BOUFFARD RD
WINDSOR ON N9H 1W2

[REDACTED]
2448 SUGARLOAF LANE
FT LAUDERDALE FL 33144 USA

[REDACTED]
10465 PEPPERVINE ST
WINDSOR ON N8P 1Z2

[REDACTED]
1577 MOY AVE
WINDSOR ON N8X 1J4

[REDACTED]
1658 MARENTETTE AVE
WINDSOR ON N8X 4E6

[REDACTED]
4735 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
1722 ST CLAIR AVE
WINDSOR ON N9B 3T7

[REDACTED] R-
4693 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
1880 MEAGAN DR
WINDSOR ON N9J 3K7

[REDACTED]
2535 BOUFFARD RD
WINDSOR ON N9H 1V9

[REDACTED]
3238 FOREST GLADE DR
WINDSOR ON N8R 1X3

[REDACTED]
5390 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
1430 PARADISE PL
BELLE RIVER ON N0R 1A0

[REDACTED]
3458 HEMLOCK RD
WINDSOR ON N8R 1Z9

[REDACTED]
3824 ROSEMOUNT AVE
WINDSOR ON N9C 2E5

[REDACTED]
1910 SEVENTH CON RD
RR 3 STN A
WINDSOR ON N9A 6Z6

[REDACTED]
3015 BOUFFARD RD
WINDSOR ON N9H 1W4

[REDACTED] E
1815 HOLLINGER AVE
WINDSOR ON N9H 1V5

[REDACTED]
4025 HOWARD AVE
WINDSOR ON N9G 1N9

[REDACTED]
1835 MEAGAN DR
WINDSOR ON N9J 3K7

[REDACTED]
2525 BOUFFARD RD
WINDSOR ON N9H 1V9

[REDACTED]
2575 ROSE VILLE GARDEN DR
SUITE 210
WINDSOR ON N8T 3K1

[REDACTED]
1959 JEFFERSON BLVD
WINDSOR ON N8T 2W1

[REDACTED]
1 LIMERICK PL
ST JOHN'S NL A1B 2H2

[REDACTED]
1855 TODD LANE
WINDSOR ON N9H 1J6

[REDACTED]
C/O 3737 OUELLETTE AVE
WINDSOR ON N9E 3M6

[REDACTED]
[REDACTED]
8957 GRIFFIN WAY
BALTIMORE MD 21208

[REDACTED]
4715 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
1136 JILLIAN CRT
BELLE RIVER ON NOR 1A0

[REDACTED]
[REDACTED] E
2970 BOUFFARD RD
WINDSOR ON N9H 1W5

[REDACTED]
[REDACTED]
451 PARK ST W
WINDSOR ON N9A 5V4

[REDACTED]
3757 CONNAUGHT AVE
WINDSOR ON N9C 2C2

[REDACTED]
[REDACTED]
2730 BOUFFARD RD
WINDSOR ON N9H 1W2

[REDACTED]
2740 BOUFFARD RD
WINDSOR ON N9H 1W2

[REDACTED]
2365 MARK AVE
WINDSOR ON N9E 3X8

[REDACTED]
1765 CALIFORNIA AVE
WINDSOR ON N9B 3T5

[REDACTED]
[REDACTED]
4990 HURON CHURCH LINE RD
WINDSOR ON N9H 1H4

[REDACTED]
[REDACTED]
932 BELLAGIO DR
WINDSOR ON N8P 1J7

[REDACTED]
1342 MOY AVE
WINDSOR ON N8X 4S6

[REDACTED]
RR 2
2196 GESTO RD
ESSEX ON N8M 2X6

[REDACTED]
2196 GESTO RD
RR 2 STN MAIN
ESSEX ON N8M 2X6

[REDACTED]
[REDACTED]
1825 MEAGAN DR
WINDSOR ON N9J 3K7

[REDACTED]
1561 COLLEGE AVE
WINDSOR ON N9B 1M2

[REDACTED]
CLARA CITY
PO BOX 665
MINNESOTA USA 56222

[REDACTED]
[REDACTED]
635 TECUMSEH RD W
WINDSOR ON N8X 1H4

[REDACTED]
2210 BONDY AVE
WINDSOR ON N9H 1J2

[REDACTED]
[REDACTED]
2565 GAIL RD
WINDSOR ON N8W 2Z7

[REDACTED]
6525 DISPUTED RD
WINDSOR ON N9H 1X8

[REDACTED]
[REDACTED]
3411 BAYONNE STREET
SAN DIEGO CA 92109

[REDACTED]
[REDACTED]
1324-6101 OHIO DR
PLANO TX USA 75024

[REDACTED]
[REDACTED]
477 GREEN VALLEY DR
WINDSOR ON N8N 4C2

[REDACTED]
[REDACTED]
2561 INDIGO AVE
WINDSOR ON N8P 0B3

[REDACTED]
2515 BOUFFARD RD
WINDSOR ON N9H 1V9

[REDACTED]
[REDACTED]
4510 RHODES DRIVE, UNIT 520
WINDSOR ON
N8W 5K5

[REDACTED]
[REDACTED]
6640 MALDEN RD
WINDSOR ON N9H 1T6

[REDACTED]
2 SELWOOD AVE
WINNIPEG MB R3R 2P8

[REDACTED]
[REDACTED]
4785 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
[REDACTED]
117 PEARL ST
SARNIA ON N7T 5G6

[REDACTED]
1575 LAUZON RD
WINDSOR ON N8S 3N4

[REDACTED]
2315 NORMANDY ST
WINDSOR ON N9H 1R1

[REDACTED]
2925 BOUFFARD RD
WINDSOR ON N9H 1W4

[REDACTED]
ASSESSMENT & TAXATION REAL
PO BOX 4300
MARKHAM ON L3R 5Z5

[REDACTED]
185 CLEGG RD
MARKHAM ON L6G 1B7

[REDACTED]
4645 8TH CON RD
RR 3
MAIDSTONE ON N0R 1K0

[REDACTED]
2640 BOUFFARD RD
WINDSOR ON N9H 1W2

[REDACTED]
2615 BOUFFARD RD
WINDSOR ON N9H 1W3

[REDACTED]
6570 DISPUTED RD
WINDSOR ON N9H 1X9

[REDACTED]
5430 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
5370 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
3300 ASKIN AVE
WINDSOR ON N9E 3J5

[REDACTED]
99 CLARK SIDE RD W
INGERSOLL ON N5C 3R5

[REDACTED]
7010 DISPUTED RD
RR 3
WINDSOR ON N9A 6Z6

[REDACTED]
1850 MEAGAN DR
WINDSOR ON N9J 3K7

[REDACTED]
1805 HOLLINGER AVE
WINDSOR ON N9H 1V5

[REDACTED]
9874 KENWOOD CRES
WINDSOR ON N8R 1H2

[REDACTED]
470 ELLIOTT ST E
WINDSOR ON N9A 3R9

[REDACTED]
3770 BASELINE RD
WINDSOR ON N9A 6J3

[REDACTED]
913 2ND CONC
AMHERSTBURG ON N9V 3R3

[REDACTED]
5360 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
940 WINDSOR AVE
WINDSOR ON N9A 1K2

[REDACTED]
1880 VALIANT ST
WINDSOR ON N9H 1Z2

[REDACTED]
3465 BLISS RD
WINDSOR ON N8W 3B5

[REDACTED]
2855 BOUFFARD RD
WINDSOR ON N9H 1W4

[REDACTED]
3123 CLEMENCEAU BLVD
WINDSOR ON N8T 2R6

[REDACTED]
2985 DOUGALL AVE
WINDSOR ON N9E 1S1

[REDACTED]
6355 DISPUTED RD
WINDSOR ON N9H 1X6

[REDACTED]
[REDACTED]
2490 BOUFFARD RD
WINDSOR ON N9H 1W1

[REDACTED]
442 BRUCE AVE LOWER
WINDSOR ON N9A 4W7

[REDACTED]
441 LAKEVIEW DR
SS 1
BELLE RIVER ON NOR 1A0

[REDACTED]
2810 BOUFFARD RD
WINDSOR ON N9H 1W5

[REDACTED]
3020 BOUFFARD RD
WINDSOR ON N9H 1W5

[REDACTED]
[REDACTED]
6590 DISPUTED RD
WINDSOR ON N9H 1X9

[REDACTED]
1840 HOLLINGER AVE
WINDSOR ON N9H 1V6

[REDACTED]
5950 MALDEN RD
WINDSOR ON N9H 1S4

[REDACTED]
1541 WESTCOTT RD
WINDSOR ON N8Y 4C5

[REDACTED]
[REDACTED]
3344 DEERBROOK DR
WINDSOR ON N8R 2C9

[REDACTED]
3490 HUNTINGTON AVE
WINDSOR ON N9E 3M8

[REDACTED]
6573 MARISSA LOOP #704
NAPLES FL USA 34108

[REDACTED]
2720 BOUFFARD RD
WINDSOR ON N9H 1W2

[REDACTED]
[REDACTED]
4745 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
9655 RIDGE RD
WINDSOR ON N8R 1G5

[REDACTED]
109-6335 EDGAR ST
WINDSOR ON N8S 2A7

[REDACTED]
208-6335 EDGAR ST
WINDSOR ON N8S 2A7

[REDACTED]
1192 FAIRVIEW BLVD
WINDSOR ON N8S 3E9

[REDACTED]
3050 BOUFFARD RD
WINDSOR ON N9H 1W5

[REDACTED]
[REDACTED]
11 WESTBRIER KNOLL
BRANTFORD ON N3R 5W3

[REDACTED]
4405 SEVENTH CON RD
WINDSOR ON N9A 6J3

RESIDENT OF
6865 DISPUTED RD
WINDSOR ON N9H 1Y3

[REDACTED]
1065 MARENTETTE AVE
WINDSOR ON N9A 2A4

[REDACTED]
[REDACTED]
1241 JANETTE AVE
WINDSOR ON N8X 1Y7

[REDACTED]
[REDACTED]
951 ELSMERE AVE
WINDSOR ON N9A 2A8

[REDACTED]
2929 AUSTEN DR
WINDSOR ON N8T 1Z4

[REDACTED]
6563 DRUMMOND RD APT 204
NIAGARA FALLS ON L2G 4N6

[REDACTED]
35 DIRSTEIN ST S
BOX 228
ELMWOOD ON N0G 1S0

[REDACTED]
703 7TH AVE
HANOVER ON N4N 2K2

[REDACTED]
[REDACTED]
2414 VIA VITA ST
WINDSOR ON N9E 4C4

[REDACTED]
10870 MULBERRY RD
WINDSOR ON N8R 1H8

[REDACTED]
2081 MURRAY ST
TECUMSEH ON N8N 4R3

[REDACTED]
2830 BOUFFARD RD
WINDSOR ON N9H 1W5

[REDACTED]
6730 DISPUTED RD
WINDSOR ON N9H 1Y1

[REDACTED]
207 CAMPBELL AVE
WINDSOR ON N9B 2H1

[REDACTED]
1656 RANKIN AVE
WINDSOR ON N9B 2S8

[REDACTED]
5310 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
6540 DISPUTED RD
WINDSOR ON N9H 1X9

[REDACTED]
359 ELMGROVE DR
WINDSOR ON N8N 4H1

[REDACTED]
2945 BOUFFARD RD
WINDSOR ON N9H 1W4

[REDACTED]
2575 BOUFFARD RD
WINDSOR ON N9H 1V9

[REDACTED]
6845 DISPUTED RD
WINDSOR ON N9H 1Y3

[REDACTED]
521 LAKESIDE DR RR5
HARROW ON N0R 1G0

[REDACTED]
1765 BOUFFARD RD
WINDSOR ON N9J 1H1

[REDACTED]
2865 BOUFFARD RD
WINDSOR ON N9H 1W4

[REDACTED]
855 LAKESHORE RD 103 RR2
MAIDSTONE ON N0R 1K0

[REDACTED]
971 ST LOUIS AVE
WINDSOR ON N8S 2K6

[REDACTED]
450 MARTIN LANE
WINDSOR ON N9J 2M5

[REDACTED]
301-1 RIVERSIDE DR W
WINDSOR ON N9A 5K3

[REDACTED]
1324 KENWICK WAY
WINDSOR ON N9H 2H1

[REDACTED]
1046 OAK AVE
WINDSOR ON N9A 5G4

[REDACTED]
3617 INGLEWOOD AVE
WINDSOR ON N9E 4P3

[REDACTED]
6735 DISPUTED RD
WINDSOR ON N9H 1Y2

[REDACTED]
2800 W MEMORIAL DR LOT 113
MUNCIE IN USA 47302

[REDACTED]
RR 3
6550 HURON CHURCH LINE RD
WINDSOR ON N9A 6Z6

[REDACTED]
41337 MARKSWAY CRT
STERLING HEIGHTS MI
USA 48314

[REDACTED]
1335 MORTON DR
WINDSOR ON N9J 3S9

[REDACTED]
145 AMY CROFT DR
WINDSOR ON N9K 1E3

[REDACTED]
5815 BISHOP ST
WINDSOR ON N9H 2K4

[REDACTED]
12217 ROXBURY CRES
WINDSOR ON N8N 4M8

[REDACTED]
383 ALOHA DR
WINDSOR ON N8N 1K1

[REDACTED]
1253 BELLEPERCHE PL
WINDSOR ON N8S 3C4

[REDACTED]
12195 ST THOMAS CRES
WINDSOR ON N8N 3P5

[REDACTED]
3045 BOUFFARD RD
WINDSOR ON N9H 1W4

[REDACTED]
115-451 GRAND MARAIS ROAD WEST
WINDSOR ON N9E4R2

[REDACTED]
10810 EASTCOURT DR
WINDSOR ON N8R 1E8

[REDACTED]
1936 NORTHWAY AVE
WINDSOR ON N9B 0A3

[REDACTED]
2734 NORFOLK PINE CRES
WINDSOR ON N9E 4S5

[REDACTED]
2471 CHANDLER RD
WINDSOR ON N8W 4A7

[REDACTED]
3055 BOUFFARD RD
WINDSOR ON N9H 1W4

[REDACTED]
357 RIVER NORTH BLVD
MACON GEORGIA USA 31211

[REDACTED]
2000 WILKINSON ST
INNISSIL ON L9S 1X3

[REDACTED]
6360 DISPUTED RD
WINDSOR ON N9H 1X7

[REDACTED]
4645 HURON CHURCH LINE
WINDSOR ON N9H 1H5

[REDACTED]
1820 HOLLINGER AVE
WINDSOR ON N9H 1V6

[REDACTED]
2585 BOUFFARD RD
WINDSOR ON N9H 1V9

[REDACTED]
2180 SEVENTH CON RD
RR 3 LCD 3
WINDSOR ON N9A 6Z6

[REDACTED]
12825 RIVERSIDE DR EAST
WINDSOR ON N8N 1A9

[REDACTED]
6225 DISPUTED RD
WINDSOR ON N9H 1X6

[REDACTED]
2555 BOUFFARD RD
WINDSOR ON N9H 1V9

[REDACTED]
7915 MATCHETTE RD
WINDSOR ON N9J 2X6

[REDACTED]
3905 RIVERSIDE DR E
APT 202
WINDSOR ON N8T 1B3

[REDACTED]
209-420 MILL RD
ETOBICOKE ON M9C 1Z1

[REDACTED]
9630 ASGARD RD
WINDSOR ON N8R 1E2

[REDACTED]
3019 KENILWORTH DR
WINDSOR ON N9E 4M1

[REDACTED]
55 COMO PLACE
HAMILTON ON L9B 1Y3

[REDACTED]
739 CLOVER DALE BEACH
RR 1
HARROW ON N0R 1G0

[REDACTED]
3660 MATCHETTE RD
WINDSOR ON N9C 1Z9

[REDACTED]
561 DORSET PK
WINDSOR ON N8N 3N2

[REDACTED]
5400 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
920 MORAND ST
WINDSOR ON N9G 1J4

[REDACTED]
2520 BOUFFARD RD
WINDSOR ON N9H 1W1

[REDACTED]
2935 BOUFFARD RD
WINDSOR ON N9H 1W4

[REDACTED]
1132 GREENPARK BLVD
WINDSOR ON N8P 1J4

[REDACTED]
2468 NORTHWOOD ST
WINDSOR ON N9E 4N7

[REDACTED]
8708 LAKESHORE RD 309
RR 2
COMBER ON N0P 1J0

[REDACTED]
3608 ASKIN AVE
WINDSOR ON N9E 3J9

[REDACTED]
535 CHRISTINA CRES
WINDSOR ON N9G 2M4

[REDACTED]
11283 AMALFI DR
WINDSOR ON N8P 1J9

[REDACTED]
449 RUSSELL RD
WINDSOR ON N8N 3S6

[REDACTED]
56825 HOLIDAY PINE DR
MACOMB MI 48042 USA

[REDACTED]
31035 GREENHAVEN
ROSEVILLE MI 48066

[REDACTED]
2070 BUCKINGHAM DR
WINDSOR ON N8T 2B3

[REDACTED]
3585 HUNTINGTON AVE
WINDSOR ON N9E 3N1

[REDACTED]
1370 MOY AVE
WINDSOR ON N8X 4S6

[REDACTED]
3426 BRUCE AVE
WINDSOR ON N9E 4R8

[REDACTED]
6380 DISPUTED RD
WINDSOR ON N9H 1X7

[REDACTED]
2810 PICCADILLY AVE
MAIDSTONE ON N0R 1L0

[REDACTED]
1915 VALIANT ST
WINDSOR ON N9H 1R7

[REDACTED]
6306 MALDEN RD
WINDSOR ON N9H 1T2

[REDACTED]
37 BOSTWICK PLACE
DEPEW NY 14043

[REDACTED]
4385 ST CLAIR AVE
WINDSOR ON N9H 2N3

[REDACTED]
BEACH S1 037
833 VALENTINO
RR 2
BELLE RIVER ON N0R 1A0

[REDACTED]
3213 WOODLAND AVE
WINDSOR ON N9E 1Z6

[REDACTED]
6610 DISPUTED RD
WINDSOR ON N9H 1Y1

[REDACTED]
3461 BYNG RD
WINDSOR ON N8W 3H6

[REDACTED]
2560 BOUFFARD RD
WINDSOR ON N9H 1W1

[REDACTED]
3390 WALKER RD
UNIT 2
WINDSOR ON N8W 3S1

[REDACTED]
754 2ND CONCESSION
RR 3
AMHERSTBURG ON N9V 3R3

[REDACTED]
26 CLEOPHAS DR
WINDSOR ON N8N 4J9

[REDACTED]
[REDACTED]
2779 PARENT AVE
WINDSOR ON N8X 4K7

[REDACTED]
2791 PARENT AVE
WINDSOR ON N8X 4K7

[REDACTED] A
2820 BOUFFARD RD
WINDSOR ON N9H 1W5

[REDACTED]
1955 LEDYARD AVE
WINDSOR ON N8W 5A9

[REDACTED]
[REDACTED]
1955 LEDYARD AVE
WINDSOR ON N8W 5A9

[REDACTED]
187 LAKESIDE DR
RR 5
HARROW ON N0R 1G0

[REDACTED]
[REDACTED]
560 LAKEVIEW AVE
WINDSOR ON N8P 1E2

[REDACTED]
1685 GRAND MARAIS RD E
WINDSOR ON N8W 1W3

[REDACTED]
359 CYANNA CRES
TECUMSEH ON N8N 5H1

[REDACTED]
4116 HURON CHURCH LINE RD
WINDSOR ON N9H 1G8

[REDACTED]
[REDACTED]
1932 LESPERANCE RD
WINDSOR ON N8N 2N3

[REDACTED]
[REDACTED]
1302-66 MOOREGATE CRES
KITCHENER ON N2M 5E6

[REDACTED]
2750 BROOKLYN AVE
WINDSOR ON N9H 2L2

[REDACTED]
3365 RIBERDY RD
WINDSOR ON N8W 3V3

[REDACTED]
3154 MULBERRY CRT
WINDSOR ON N8R 2A4

[REDACTED]
4765 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
[REDACTED]
2825 BOUFFARD RD
WINDSOR ON N9H 1W4

[REDACTED]
5966 KINGSLEY AVE
WINDSOR ON N9J 3P2

[REDACTED]
37199 CAMELLIA LANE
MOUNT CLEMENTS MICH 48043

[REDACTED]
[REDACTED]
2930 BOUFFARD RD
WINDSOR ON N9H 1W5

[REDACTED]
1564 GLADSTONE AVE
WINDSOR ON N8X 2R1

[REDACTED]
2785 MARK AVE
WINDSOR ON N9E 2W4

[REDACTED]
[REDACTED]
2745 BOUFFARD RD
WINDSOR ON N9H 1W3

[REDACTED]
1369 HICKORY RD
WINDSOR ON N8Y 3S8

[REDACTED]
949 MARENTETTE AVE
WINDSOR ON N9A 2A2

[REDACTED]
2660 ASKIN AVE
WINDSOR ON N9E 3H7

[REDACTED]
[REDACTED]
1742 ST CLAIR AVE
WINDSOR ON N9B 3T7

[REDACTED]
1162 REAUME RD
WINDSOR ON N9J 1C1

[REDACTED]
[REDACTED]
156 HAMPTON CRES
WINDSOR ON N9E 4M5

[REDACTED]
169 HAROLD CULL DR
KINGSVILLE ON N9Y 1Z4

[REDACTED]
2470 PYRAMID ST
LIVERMORE CA USA 94550

[REDACTED]
1875 MEAGAN DR
WINDSOR ON N9J 3K7

[REDACTED]
1805 PALMER AVE
WINDSOR ON N9H 1R8

[REDACTED]
2971 STILLMEADOW RD
WINDSOR ON N8R 1N2

[REDACTED]
2971 STILLMEADOW RD
WINDSOR ON N8R 1N2

[REDACTED]
2971 STILLMEADOW RD
WINDSOR ON N8R 1N2

[REDACTED]
1860 MEAGAN DR
WINDSOR ON N9J 3K7

[REDACTED]
5350 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
5530 HURON CHURCH LINE RD
RR 3
WINDSOR ON N9A 6Z6

[REDACTED]
11283 AMALFI DR
WINDSOR ON N8P 1J9

[REDACTED]
6745 DISPUTED RD
WINDSOR ON N9H 1Y2

[REDACTED]
1162 FAIRVIEW BLVD
WINDSOR ON N8S 3E9

[REDACTED]
2725 BOUFFARD RD
WINDSOR ON N9H 1W3

[REDACTED]
31216 NARRAGANSETT LANE
BAY VILLAGE OH 44140

[REDACTED]
5555 HOWARD AVE
RR 1
OLDCASTLE ON N0R 1L0

[REDACTED]
1885 MEAGAN DR
WINDSOR ON N9J 3K7

[REDACTED]
2570 BOUFFARD RD
WINDSOR ON N9H 1W1

[REDACTED]
1820 BOUFFARD RD
WINDSOR ON N9H 1V7

[REDACTED]
1126 LESPERANCE RD
WINDSOR ON N8N 1X2

[REDACTED]
2545 BOUFFARD RD
WINDSOR ON N9H 1V9

[REDACTED]
2540 BOUFFARD RD
WINDSOR ON N9H 1W1

[REDACTED]
6554 MALDEN RD
WINDSOR ON N9H 1T3

[REDACTED]
1845 MEAGAN DR
WINDSOR ON N9J 3K7

[REDACTED]
5352 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
4206 MOUNT ROYAL DR
WINDSOR ON N9G 2C2

R [REDACTED]
3010 BOUFFARD RD
WINDSOR ON N9H 1W5

[REDACTED]
2519 ACADEMY DR
WINDSOR ON N9E 2G5

[REDACTED]
921 NOVA DR
WINDSOR ON N9G 2S6

[REDACTED]
2457 LESPERANCE RD
WINDSOR ON N8N 2X1

[REDACTED]
CORPORATION LONDON DIOCESE
5005 HOWARD AVE
WINDSOR ON N9H 1Z5

[REDACTED]
6555 MALDEN RD
WINDSOR ON N9H 1T5

[REDACTED]
66 PALOMINO DR
KANATA ON K2M 1M2

[REDACTED]
7415 BRODERICK RD
WINDSOR ON N9H 1W7

[REDACTED]
4558 TALBOT TRAIL
RR #3
MERLIN ON N0P 1W0

[REDACTED]
6670 DISPUTED RD
WINDSOR ON N9H 1Y1

[REDACTED]
1753 ST CLAIR AVE
WINDSOR ON N9B 3T7

[REDACTED]
34 VICTORIA ST N
AMHERSTBURG ON N9V 2X6

[REDACTED]
628 SECOND CONC
RR 3 STN MAIN
AMHERSTBURG ON N9V 3R3

[REDACTED]
3185 BURBANK CRES
WINDSOR ON N8T 2M3

[REDACTED]
1780 CALVARY CRT
TECUMSEH ON N8N 5A1

[REDACTED]
1435 PARTINGTON AVE
WINDSOR ON N9B 2P7

[REDACTED]
6755 DISPUTED RD
WINDSOR ON N9H 1Y2

[REDACTED]
5015 COLBOURNE DR
WINDSOR ON N8T 1T6

[REDACTED]
1762 EVERTS AVE
WINDSOR ON N9B 3E7

[REDACTED]
751 WALLACE AVE
WINDSOR ON N9G 1M2

[REDACTED]
8545 MALDEN RD
WINDSOR ON N9J 2V6

[REDACTED]
571 ERIE ST E
WINDSOR ON N9A 3X8

[REDACTED]
2940 BOUFFARD RD
WINDSOR ON N9H 1W5

[REDACTED]
4415 VILLA PARADISO CRES
WINDSOR ON N9G 2L7

[REDACTED]
9680 BEACHDALE RD
WINDSOR ON N8R 1S3

[REDACTED]
4415 VILLA PARADISO CRES
WINDSOR ON N9G 2L7

[REDACTED]
24 PEARTREE CRT
BARRIE ON L4N 6N7

[REDACTED]
W 7653 CTY M
SHAWANO WI 54166

[REDACTED]
2764 ROCKWELL BLVD
WINDSOR ON N9E 2A3

[REDACTED]
2550 BOUFFARD RD
WINDSOR ON N9H 1W1

[REDACTED]
24 FOX HOLLOW CRES
LONDON ON N6G 3R2

[REDACTED]
5410 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
10741 MULBERRY RD
WINDSOR ON N8R 1H7

[REDACTED]
1382 2ND CONC
RR 3
AMHERSTBURG ON N9V 3R3

[REDACTED]
1840 MEAGAN DR
WINDSOR ON N9J 3K7

[REDACTED]
[REDACTED]
4980 HURON CHURCH LINE RD
WINDSOR ON N9H 1H4

[REDACTED]
2440 BOUFFARD RD
WINDSOR ON N9H 1W1

[REDACTED]
17 SOHO CRES
MARKHAM ON L3P 7H9

[REDACTED]
[REDACTED]
4780 SHADETREE CRES
WINDSOR ON N9G 2P8

[REDACTED]
[REDACTED]
1044 MARJORIE DR
WINDSOR ON N8S 4A3

[REDACTED]
695 CARUSO DR
WINDSOR ON N9G 2M7

[REDACTED]
2785 CLEMENCEAU BLVD
WINDSOR ON N8T 2P9

[REDACTED]
1244 GLIDDEN AVE
WINDSOR ON N8S 2P3

[REDACTED]
[REDACTED]
5440 HURON CHURCH LINE
WINDSOR ON N9H 1H6

[REDACTED]
[REDACTED]
197 HYDE PARK
RR3
AMHERSTBURG ON N9V 3R3

[REDACTED]
[REDACTED]
5120 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
4695 HURON CHURCH LINE
WINDSOR ON N9H 1H5

[REDACTED]
2607 CALIFORNIA AVE
WINDSOR ON N9E 4L6

[REDACTED]
5940 SOVEREIGN DR
WINDSOR ON N9H 2N9

[REDACTED]
999 E.C. ROW AVE
WINDSOR ON N8X 5C1

[REDACTED]
2655 BOUFFARD RD
WINDSOR ON N9H 1W3

[REDACTED]
PO BOX 26
51 ELLEN AVE
WALKERTON ON N0G 2V0

[REDACTED]
[REDACTED]
2630 BOUFFARD RD
WINDSOR ON N9H 1W2

[REDACTED]
[REDACTED]
804 ERIE ST EAST SUITE 100
WINDSOR ON N9A 3X4

[REDACTED]
[REDACTED]
1663 ELSMERE AVE
WINDSOR ON N8X 4H5

[REDACTED]
[REDACTED]
173 ROSEMARY ST
DEARBORN HEIGHTS MI 48127

[REDACTED]
[REDACTED]
4111 CASGRAIN DR
WINDSOR ON N9G 2A6

[REDACTED]
[REDACTED]
3024 KENILWORTH DR
WINDSOR ON N9E 4M1

[REDACTED]
[REDACTED]
[REDACTED]
1724 LANGLOIS AVE
WINDSOR ON N8X 4M5

[REDACTED]
[REDACTED]
16940 COMPANIA
MACOMB MICHIGAN 48044

[REDACTED]
12707 ST THOMAS ST
WINDSOR ON N8N 1J2

[REDACTED]
12014 INTERSECTION RD
WINDSOR ON N8N 1R3

[REDACTED]
6335 MALDEN RD
WINDSOR ON N9H 1T4

[REDACTED]
1775 ALGONQUIN ST
WINDSOR ON N9B 1W7

[REDACTED]
9760 MARTINIQUE PL
WINDSOR ON N8P 1H9

[REDACTED]
187 DIANE CRES
WINDSOR ON N9K 1E2

[REDACTED]
259 BELLEPERCHE PL
WINDSOR ON N8S 3B6

[REDACTED]
6560 MALDEN RD
WINDSOR ON N9H 1T3

[REDACTED]
12011 CTY RD 15
RR 2
ESSEX ON N8M 2X6

[REDACTED]
[REDACTED]
3300 ASKIN AVE
WINDSOR ON N9E 3J5

[REDACTED]
4753 BURNS RD
MPLS MN 55364

[REDACTED]
2960 BOUFFARD RD
WINDSOR ON N9H 1W5

[REDACTED]
2580 BOUFFARD RD
WINDSOR ON N9H 1W1

[REDACTED]
1855 MEAGAN DR
WINDSOR ON N9J 3K7

[REDACTED]
138 MAPLE AVE
RR 3
BOX C9
HARROW ON N0R 1G0

[REDACTED]
E331 - 3801 YOSEMITE BLVD
MODESTO CA USA 95357

[REDACTED]
6715 DISPUTED RD
WINDSOR ON N9H 1Y2

[REDACTED]
2935 NORTHWAY AVE
WINDSOR ON N9E 4J9

[REDACTED]
5130 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
2267 LOUIS AVE
WINDSOR ON N8X 4C2

[REDACTED]
2495 BOUFFARD RD
WINDSOR ON N9H 1V9

[REDACTED]
1565 BOUFFARD RD
WINDSOR ON N9J 1H1

[REDACTED]
334-6971 16TH AVE SE
CALGARY AB T2A 0X8

[REDACTED]
969 NOVA ST
WINDSOR ON N9G 2S7

[REDACTED]
9259 BRODERICK RD
RR 3
WINDSOR ON N9A 6Z6

[REDACTED]
1761 HEBERT ST
WINDSOR ON N8N 4G3

[REDACTED]
2681 ARMSTRONG AVE
WINDSOR ON N8T 2G2

[REDACTED]
3181 TEXAS RD
AMHERSTBURG ON N9V 2Y9

[REDACTED]
47 CROYDON RD NW
CALGARY AB T2K 1S5

[REDACTED]
47 CROYDON RD
CALGARY AB T2K 1S5

[REDACTED]
273 ST PAUL
PO BOX 464
BELLE RIVER ON N0R 1A0

[REDACTED]
5820 DALTON AVE
WINDSOR ON N9H 1N1

[REDACTED]
4655 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
2950 BOUFFARD RD
WINDSOR ON N9H 1W5

[REDACTED]
1506 HEATHERGLEN CRES
TECUMSEH ON N8N 5A5

[REDACTED] A
4633 DALI CRES
WINDSOR ON N9G 2M8

[REDACTED]
420 St ROBERT
BROSSARD PQ J4X 1C6

[REDACTED]
6175 MALDEN RD
WINDSOR ON N9H 1S9

[REDACTED]
1153 ELSMERE AVE
WINDSOR ON N9A 2B1

[REDACTED]
162 REAUME RD
WINDSOR ON N9J 1B1

[REDACTED]
4505 CENTRE LAKE RD
WINDSOR ON N9G 2R1

[REDACTED]
5330 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
49791 COOKE AVE
PLYMOUTH MI 48170

[REDACTED]
1456 ROXBOROUGH AVE
WINDSOR ON N9B 3H3

[REDACTED]
6445 DISPUTED RD
WINDSOR ON N9H 1X8

[REDACTED]
465 DARLENE PL
WINDSOR ON N9J 3B6

[REDACTED]
2715 BOUFFARD RD
WINDSOR ON N9H 1W3

[REDACTED]
16355 245TH STREET
MASON CITY IA 50401

[REDACTED]
1780 SIXTH CON RD
RR 3 LCD 3
WINDSOR ON N9A 6Z6

[REDACTED]
238 BAIN AVE
TORONTO ON M4K 1G3

[REDACTED]
238 BAIN AVE
TORONTO ON M4K 1G3

[REDACTED]
5001 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
1780 WESTMINISTER BLVD
WINDSOR ON N8T 1X4

[REDACTED]
6680 DISPUTED RD
WINDSOR ON N9H 1Y1

[REDACTED]
6640 DISPUTED RD
WINDSOR ON N9H 1Y1

[REDACTED]
6860 DISPUTED RD
WINDSOR ON N9H 2A7

[REDACTED]
801 - 374 OUELLETTE AVE
WINDSOR ON N9A 1A8

[REDACTED]
1 PINE HILL DR
RR1
PHELPSTON ON L0L 2K0

[REDACTED]
6580 DISPUTED RD
WINDSOR ON N9H 1X9

[REDACTED]
4685 HURON CHURCH LINE RD
WINDSOR ON N9H 1H5

[REDACTED]
2920 BOUFFARD RD
WINDSOR ON N9H 1W5

[REDACTED]
6440 MALDEN RD
WINDSOR ON N9H 1T3

[REDACTED]
5290 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
2862 KEW DR
WINDSOR ON N8T 3C6

[REDACTED]
2815 BOUFFARD RD
WINDSOR ON N9H 1W4

[REDACTED]
4960 HURON CHURCH LINE RD
WINDSOR ON N9H 1H4

[REDACTED]
4970 HURON CHURCH LINE RD
WINDSOR ON N9H 1H4

[REDACTED]
[REDACTED]
1443 ROXBOROUGH AVE
WINDSOR ON N9B 3H2

[REDACTED]
[REDACTED]
NEVESINJSKA 14 11000
BELGRADE, YUGOSLAVIA

[REDACTED]
5280 HURON CHURCH LINE RD
WINDSOR ON N9H 1H6

[REDACTED]
[REDACTED]
6645 DISPUTED RD
WINDSOR ON N9H 1Y2

[REDACTED]
[REDACTED]
801 - 374 OUELLETTE AVE
WINDSOR ON N9A 1A8

[REDACTED]
28310 N. 61ST STREET
CAVE CREEK, ARIZONA
85331 USA

[REDACTED]
7294 NW ONE MANOR
PLANTATION FLORIDA USA
33317

J [REDACTED]
131 N CARDINAL ST
WICHITA, KS USA
67230

[REDACTED]
6914 ROSEVILL EGARDEN DRIVE
WINDSOR, ON
N8T 1J2

Town of LaSalle
5950 Malden Road
LaSalle, ON N9H1S4

Town of LaSalle
5950 Malden Road
LaSalle, ON N9H1S4

Town of LaSalle
5950 Malden Road
LaSalle, ON N9H1S4

Town of LaSalle
5950 Malden Road
LaSalle, ON N9H1S4

Town of LaSalle
5950 Malden Road
LaSalle, ON N9H1S4

Town of LaSalle
5950 Malden Road
LaSalle, ON N9H1S4

Town of LaSalle
5950 Malden Road
LaSalle, ON N9H1S4

Town of LaSalle
5950 Malden Road
LaSalle, ON N9H1S4

Town of LaSalle
5950 Malden Road
LaSalle, ON N9H1S4

County of Essex
360 Fairview Avenue West, Suite 302
Essex, ON N8M 1Y6

County of Essex
360 Fairview Avenue West, Suite 302
Essex, ON N8M 1Y6

Mr. Tom Bateman
County of Essex
360 Fairview Avenue West
Suite 302
Essex, ON N8M 1Y6

Essex Region Conservation Authority
360 Fairview Avenue West, Suite 311
Essex, ON N8M 1Y6

Essex Region Conservation Authority
360 Fairview Avenue West, Suite 311
Essex, ON N8M 1Y6

Essex Region Conservation Auth
360 Fairview Avenue West,
Suite 311
Essex, ON N8M 1Y6

Fisheries and Oceans Canada
867 Lakeshore Road
Burlington, ON L7R 4A6

Ministry of Tourism, Culture & Sport
401 Bay Street, Suite 1700
Toronto, ON M7A 0A7

Ministry of Aboriginal Affairs
4th Floor, 160 Bloor Street East
Toronto, ON M7A 2E6

Ministry of the Environment
& Climate Change
733 Exeter Road
London, ON N6E 1L3

Ministry of Municipal Affairs & Housing
659 Exeter Road, 2nd Floor
London, ON N6E 1L3

Ministry of Municipal Affairs
& Housing
659 Exeter Road, 2nd Floor
London, ON N6E 1L3

Ministry of Transportation
659 Exeter Road, 4th Floor
London, ON N6E 5L3

Ministry of Natural Resources
and Forestry
615 John Street
Aylmer, ON N5H 2S8

Ministry of Natural Resources
and Forestry
615 John Street
Aylmer, ON N5H 2S8

Chippewas of the Thames
First Nation
320 Chippewa Road, RR 1
Muncey, ON N0L 1Y0

Chippewas of the Thames First Nation
320 Chippewa Road, RR 1
Muncey, ON N0L 1Y0

Chippewas of Kettle & Stony Point
First Nation
6247 Indian Ln
Lambton Shores, ON N0N 1J2

Chippewas of Kettle & Stony Point
First Nation
6247 Indian Lane, ON
Lambton Shores, ON N0N 1J1

Aamjiwnaang First Nation
978 Tashmoo Avenue
Sarnia, ON N7T 7H5

Walpole Island First Nation
/ Bkejwanong Territory
R.R. #3
Wallaceburg, ON N8A 4K9

Walpole Island First Nation
/ Bkejwanong Territory
R.R. #3
Wallaceburg, ON N8A 4K9

Caldwell First Nation
P.O. Box 388
Leamington, ON N8H 3W3

Caldwell First Nation
P.O. Box 388
Leamington, ON N8H 3W3

Moravian of the Thames
RR3
Thamesville, ON N0P 2K0

Metis Nation of Ontario
75 Sherborune Street
Toronto, ON M5A 2P9

Bell Canada
1149 Goyeau Street, P.O. Box 1601
Windsor, ON N9A 1H9

Cogeco Cable Solutions
2525 Dougall Ave.
Windsor, ON N8X 5A7

MNSi
3363 Tecumseh Road East
Windsor, ON N8W 1H4

Hydro One Networks Inc.
56 Embro Street
Beachville, ON N0J 1A0

Union Gas
3840 Rhodes Drive
Windsor, ON N9A 6N7

2985 Dougall Avenue
Windsor, ON
N9E 1S1

for Jean-Marie McPhail
200 Wilkinson Street
Innisville, ON L9S 1X3

2224 Walker Road, Suite 150
Windsor, ON N8W 5L7

2365 Mark Avenue
Windsor, ON N9E 3X8

804 Erie Street East, Suite 100
Windsor, ON N9A 3Y4

2365 Mark Avenue
Windsor, ON N9E 3X8

Conseil scolaire catholique
Providence *(formerly Conseil scolaire de district
des écoles catholiques du Sud-Ouest)*
7515 Forest Glade Promenade
Windsor, ON N8T 3P5

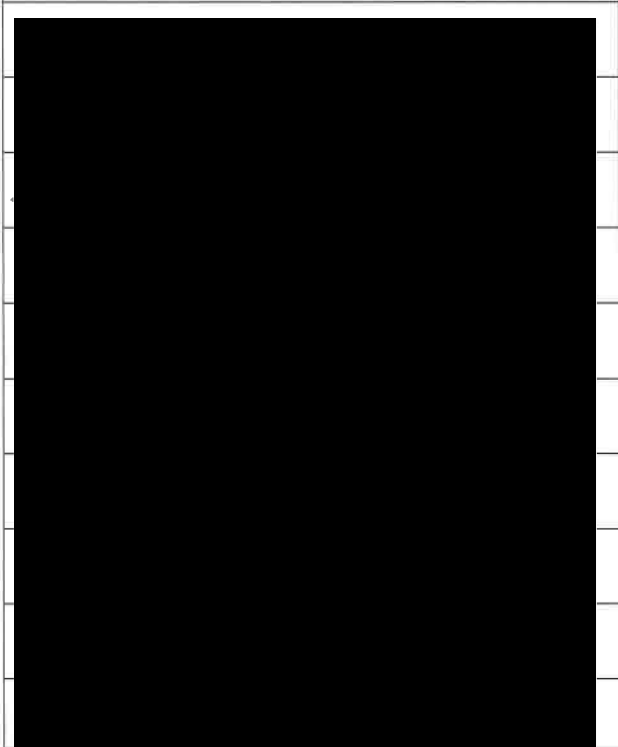
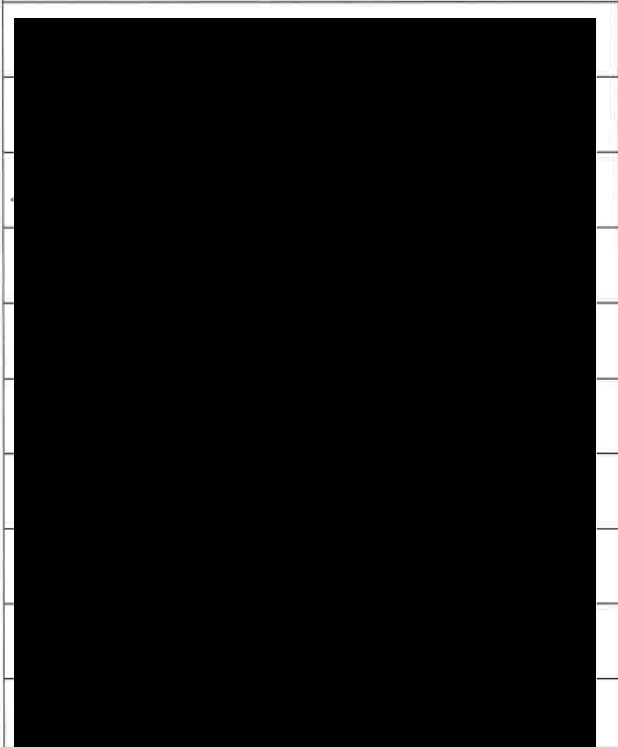
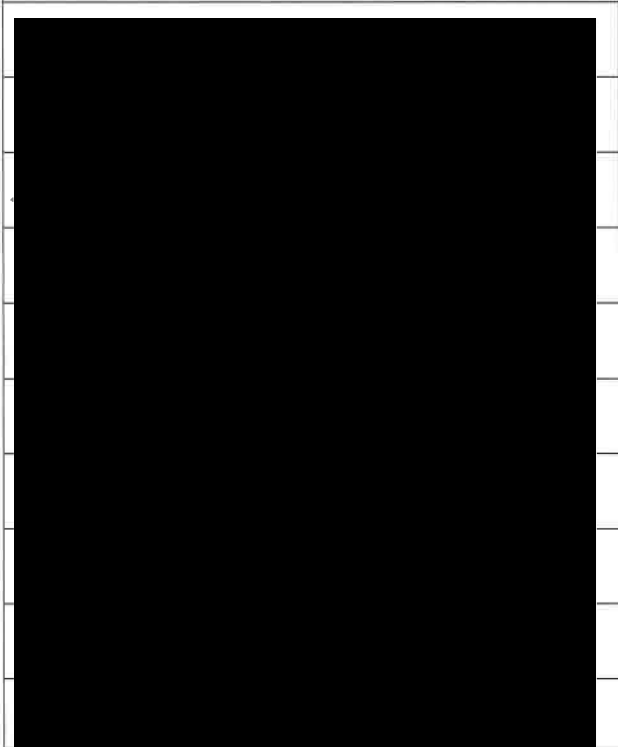
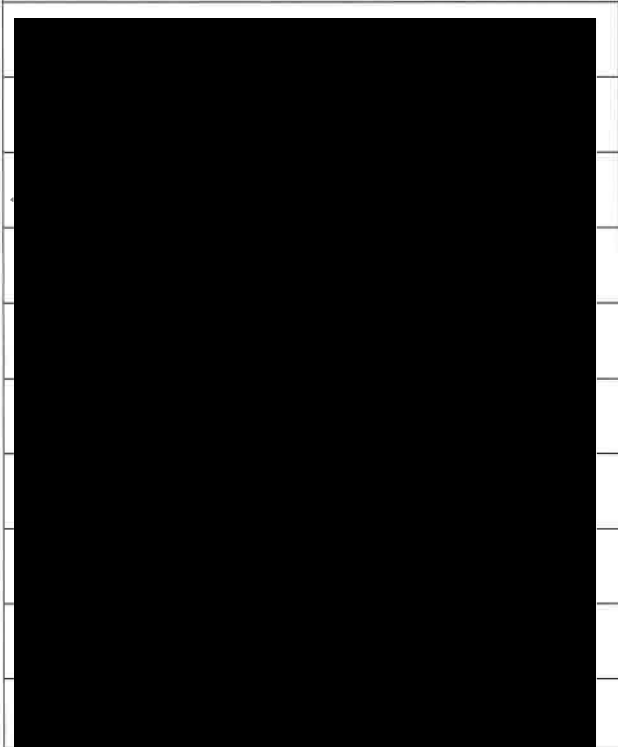
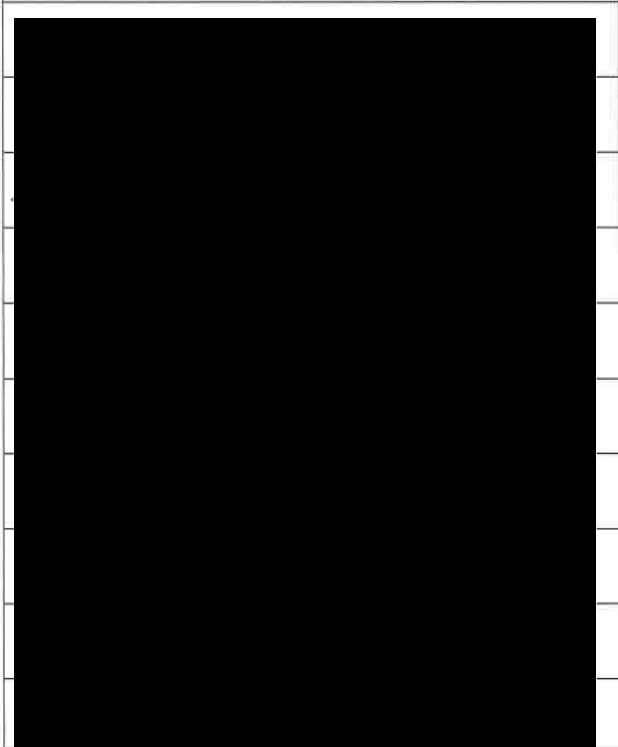
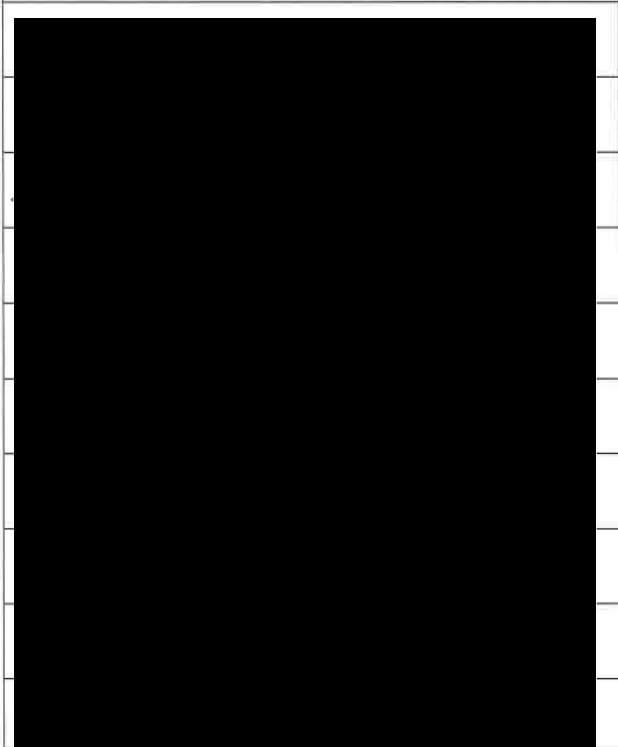
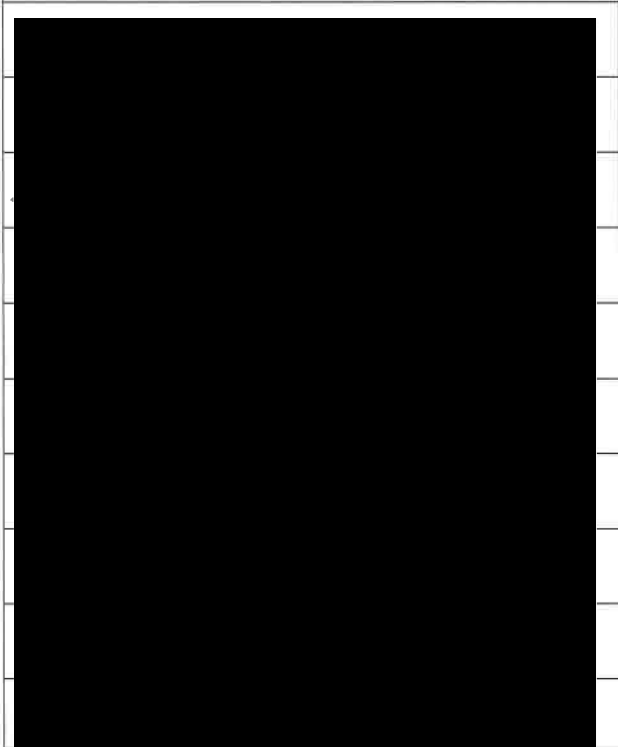
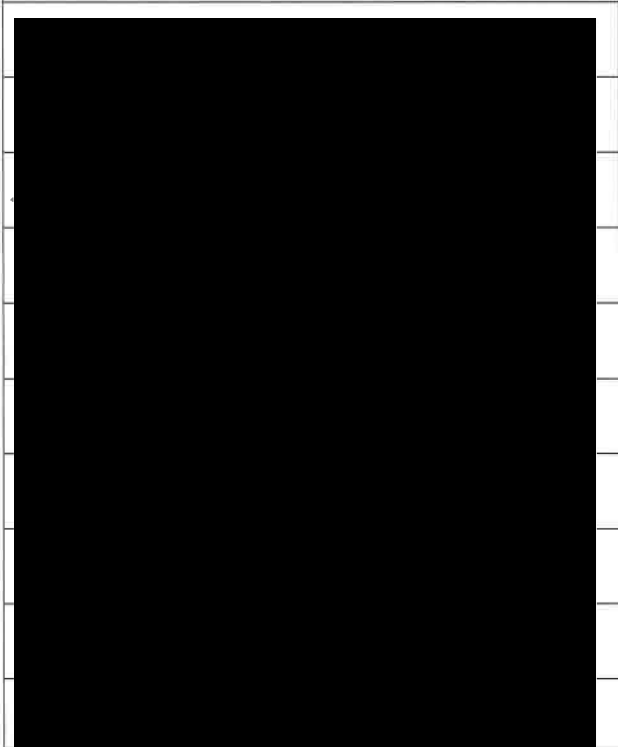
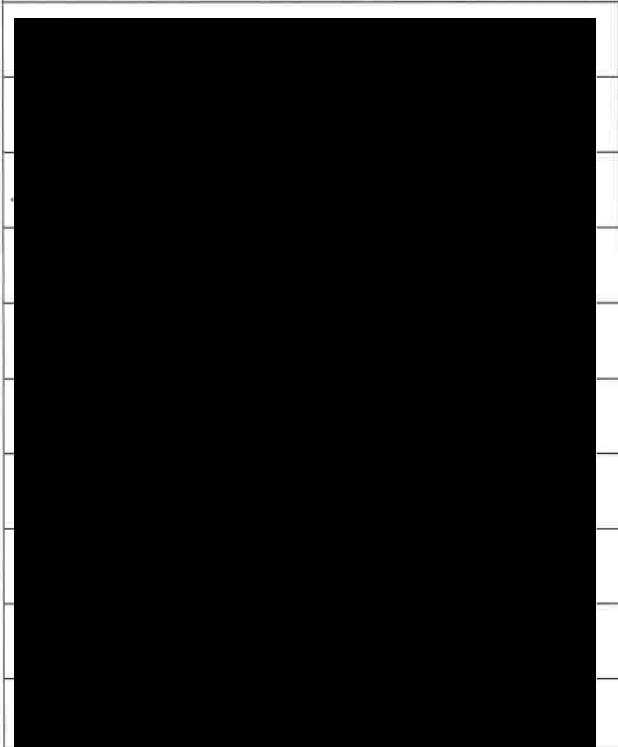
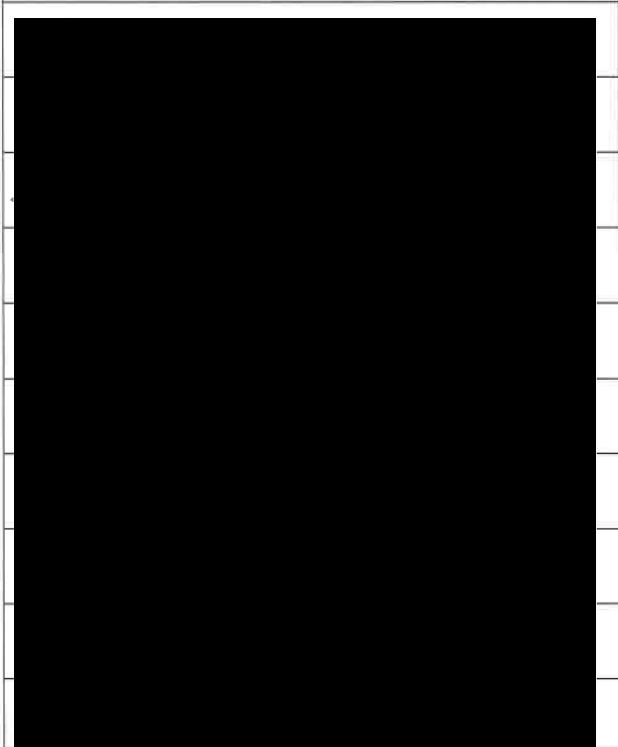
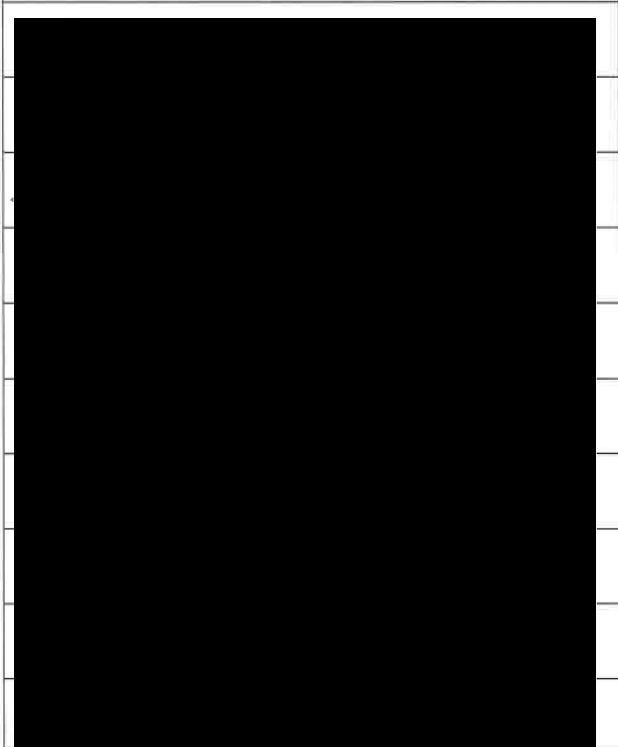
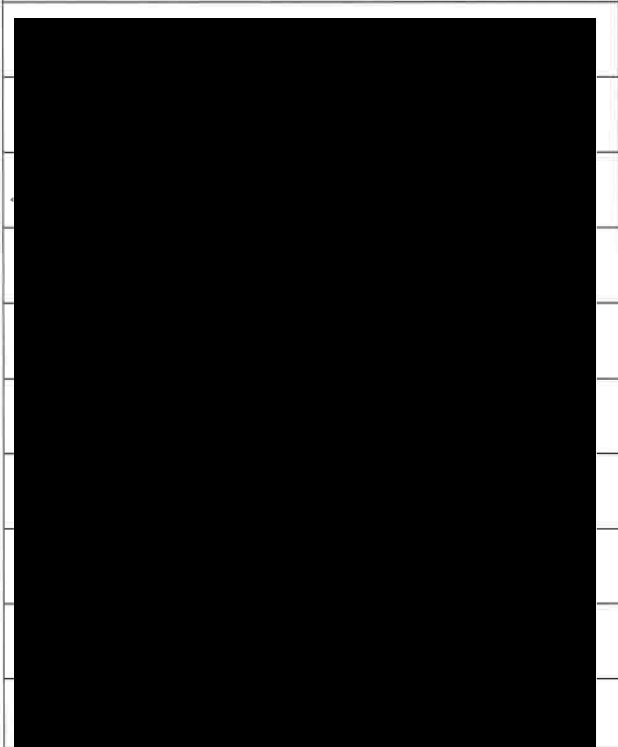
Greater Essex County District
School Board
Box 210 451 Park St W
Windsor, ON N9A 6K1

John McGivney Children's Centre
School Authority
3945 Matchette Road
Windsor, ON
N9C 4C2

Windsor-Essex Catholic District
School Board
1325 California Ave
Windsor, ON N9B 3Y6


**Town of LaSalle: Bouffard and Howard Planning Area
Class Environmental Assessment Addendum and Planning Act Approvals**

**Public Information Centre #3 – December 15, 2016
Record of Attendance**

NAME (please print)	MAILING ADDRESS (please print)	POSTAL CODE
	4795 Huron Church Rd LaSalle	N9H 1H8
	1311 Harvest Bend, LaSalle	N9H 2B5
	6560 Disputed LaSalle	N9H 1X9
	2860 Bouffard Rd. LaSalle	N9H 1W5
	5370 Huron Church Line.	N9H 1K6
	2825 Bouffard Rd.	N9H 1W4
	515 Kenwood Blvd, LaSalle.	
	1382 2ND CONC N. A'BURG	N9V 3R3
	2935 NORTHWAY WINDSOR	N9E 4J9
		
		
		

**Town of LaSalle: Bouffard and Howard Planning Area
Class Environmental Assessment Addendum and Planning Act Approvals**

**Public Information Centre #3 – December 15, 2016
Record of Attendance**

NAME (please print)	MAILING ADDRESS (please print)	POSTAL CODE
	1775 ALGONQUIN ST	N9B-1W7
	7 ERIE Glen Crescent Leamington	N8H-5K2
	1915 OMIRA ST. LASALLE	N9H 1R4
	2335 Grand Marais Rd W	N9E 4C6
	207 CAMPBELL WINDSOR	N9B 2H1
	2910 Northway	N9E 4C9
	9655 Ridge Rd Windsor	N8A 1G5
	5310 HURON LINE	N9H 1H6
	3068 NADA Pl. WINDSOR	N9E 4T6
	162 REAUME RD. LA SALLE	N9T 1B1
	1044 MARJORIE DR WINDSOR	N8S 4A3

Project No. 16-3470

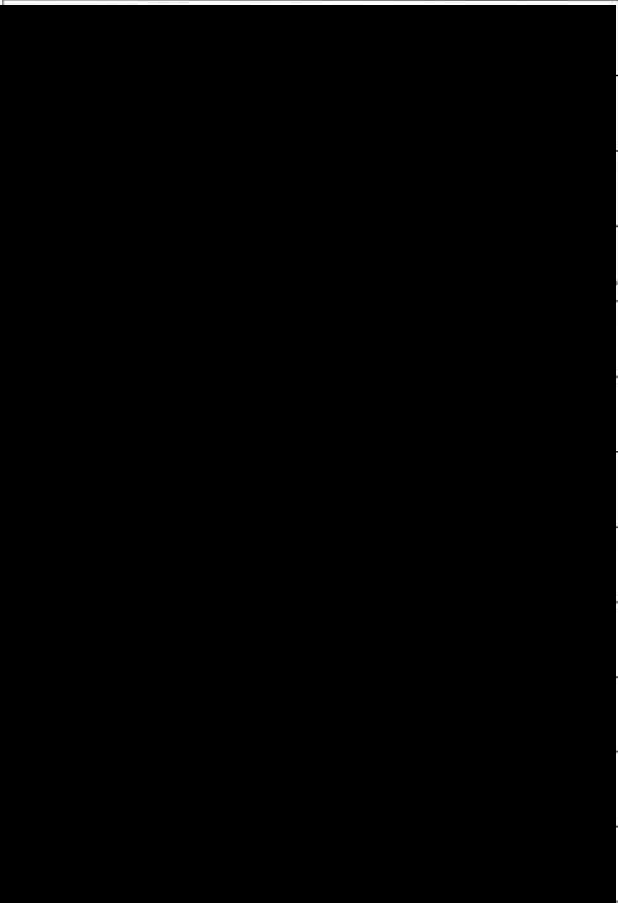
**Town of LaSalle: Bouffard and Howard Planning Area
Class Environmental Assessment Addendum and Planning Act Approvals**

**Public Information Centre #3 – December 15, 2016
Record of Attendance**

NAME (please print)	MAILING ADDRESS (please print)	POSTAL CODE
	1620 6th conc RR3	N9A6Z6
	32 FAIRWAY CRES WINDSOR ONT AMHERSTBURG	N9V 3T6
	ERCA	
	804 ERIE ST. E. WINDSOR	N9A 3Y4
	449 RUSSELL WOODS	N2N 3S6
	2871 Stillmeadow WINDSOR	W8R-1N2
	2850 Bouffard	N9H-1W5
	8545 Malden Rd.	N9J-2V6
	4025 HOWARD.	N9G 1N9.
	1310 Harvest Bend	N9H2B1
	2935 BOUFFARD	N9H 1W4
	4545 HOWARD AVE	N9G 1P3

**Town of LaSalle: Bouffard and Howard Planning Area
Class Environmental Assessment Addendum and Planning Act Approvals**

**Public Information Centre #3 – December 15, 2016
Record of Attendance**

NAME (please print)	MAILING ADDRESS (please print)	POSTAL CODE
	1132 GREENPARK DR, WINDSOR	N9P1J4
	PO BOX 221 STATION A WINDSOR	N9A6K1
	519 DOUGALL AVE, WINDSOR	N9A4P7
	2810 PICCADILLY AVE TECUMSEH	N0R1L0
	2985 DOUGALL AVE WINDSOR	N9E1S1
	6655 Disputed Rd	N9A6Z6
	10370 Mulberry Rd Windsor ON.	
	3666 MATCHETTERA WINDSOR ON	N9C1Z9.
	1722 ST CLAIR WINDSOR	N9B3T7
	4990 Huron Church Line Rd LaSalle	N9H1H4
	333 Wyandotte St. E. Windsor	N9A3H7
	2628 NORTHWAY Windsor	N9E-4N9

Project No. 2016-0470

WELCOME!

Bouffard Howard Class Environmental
Assessment (EA) Addendum
Public Information Centre #3

December 15th, 2016

Town of LaSalle – Town Hall
5950 Malden Road, LaSalle, ON



WELCOME! — PIC #3

Class EA Addendum - Integrated Approach

Study Process

The study is following the requirements of the Municipal Class Environmental Assessment (EA) (2000, as amended). The study will meet the requirements of the “Integrated Approach” which provides an opportunity to fulfill requirements of the Environmental Assessment Act and Planning Act through a coordinated process, where appropriate. **We are a Schedule ‘B’ Project.**

Class Environmental Assessment

The Class EA Process ensures:

- All relevant social, environmental and engineering factors are considered in the planning and design process
- Public and agency input is integrated into the EA process

SCHEDULE
B
SCHEDULE
C

SCHEDULE
B
SCHEDULE
C

SCHEDULE
C

SCHEDULE
C

SCHEDULE
B
SCHEDULE
C

Phase 1: Problem / Opportunity

Confirm the study purpose and justification.

Phase 2: Alternative Solutions

- Identify reasonable alternative solutions to the problem/opportunity
- Overview of existing conditions
- Consult review agencies and the public
- Evaluate alternatives and recommend a solution
- Select the preferred solution
- Document the decision making process for public and agency review (Schedule B).

We Are Here!

Phase 3: Alternative Design Concepts

- Identify alternative design concepts
- Detailed review of existing conditions
- Evaluate alternatives and select a recommended design
- Consult review agencies and the public.
- Select the preferred design..

Phase 4: Environmental Study Report

Document the decision making process in an environmental study report (ESR) for a Schedule C Project.

Phase 5: Implementation

- Detailed design and construction phase
- Monitor for environmental provisions and commitments

BOUFFARD HOWARD - STUDY PURPOSE

Bouffard Howard Class EA Addendum

An addendum is being initiated to two previous Schedule B Class EA studies:

1. Bouffard and Howard Planning Districts Master Servicing Study (2002)
2. Bouffard and Howard Planning Districts Functional Design Study (August 2005)

Both studies were completed following the requirements of the Municipal Class EA for Schedule B undertakings.

The purpose of the EA Addendum is to review and update both reports and prepare one comprehensive plan for the study area. The EA Addendum will be completed following the Integrated Approach outlined in the Municipal Class EA (2000, as amended) and will include obtaining Planning Act approvals at the same time as the EA approval.

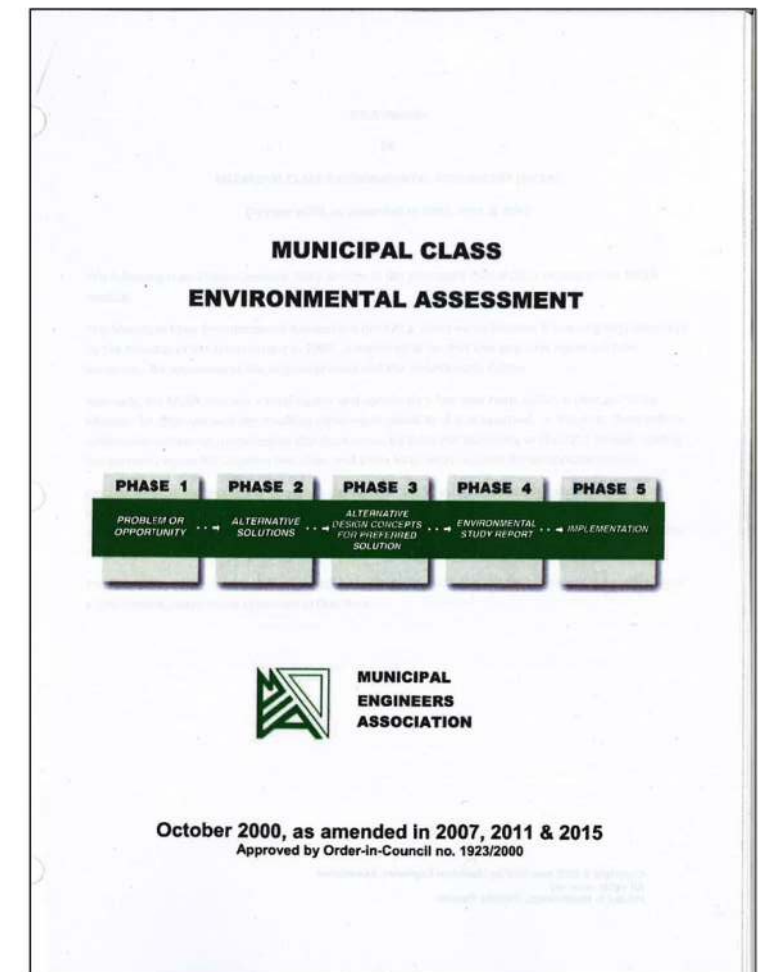
The Addendum process will:

Part 1

- Review decisions made in the two previous studies and recommend revisions. The key areas being reviewed include:
 - *Revisions to drainage area boundaries, including revision to the number and location of stormwater ponds shown in the 2005 study.*
 - *Confirm the location and size of the trunk storm sewers, trunk sanitary sewers and locations of collector and arterial roads.*
- Document the recommended changes in an Addendum Report. Only the changes are subject to public review and input under the EA Act.

Part 2

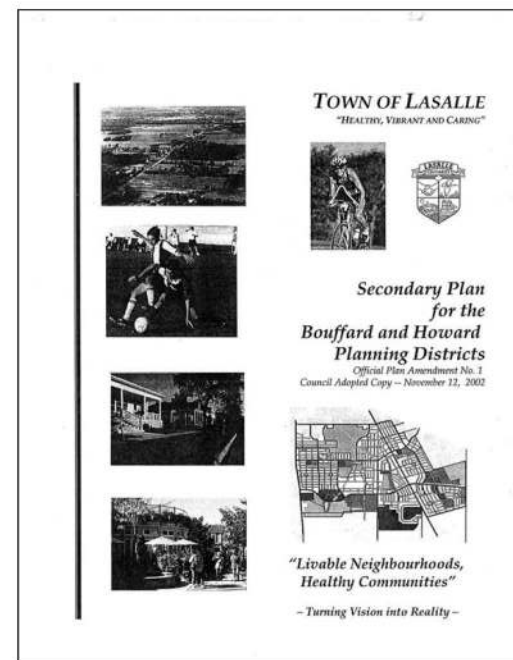
- Approval for a number of proposed developments in the area, including Draft Plans of Subdivision, Official Plan and Zoning By-law amendments;
- Confirm the location and size of natural environment areas and corridors during Planning Act Approvals.



BOUFFARD HOWARD - CHRONOLOGY

Background Studies (2002-2016)

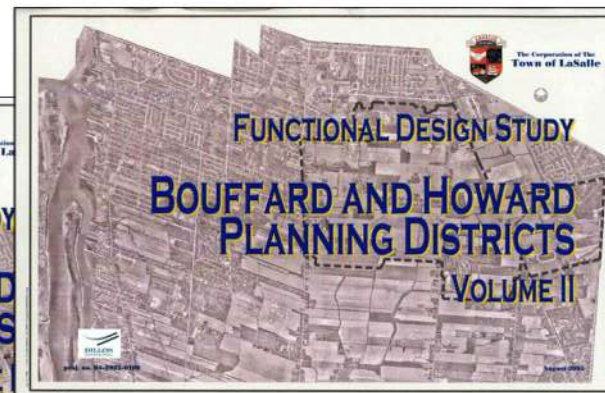
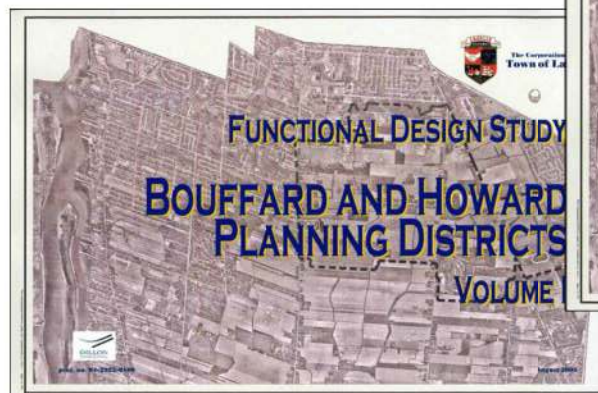
2002 Bouffard Howard Secondary Plan and Master Servicing Study



2015 Phase 1 Review of Storm Water Management Servicing Strategy



2005 Functional Design Study (Vol. I&II)



The following panels summarize key information from the previous studies.

PIC#3 - STUDY AREA

Purpose Of Bouffard Howard Class EA Addendum



Legend



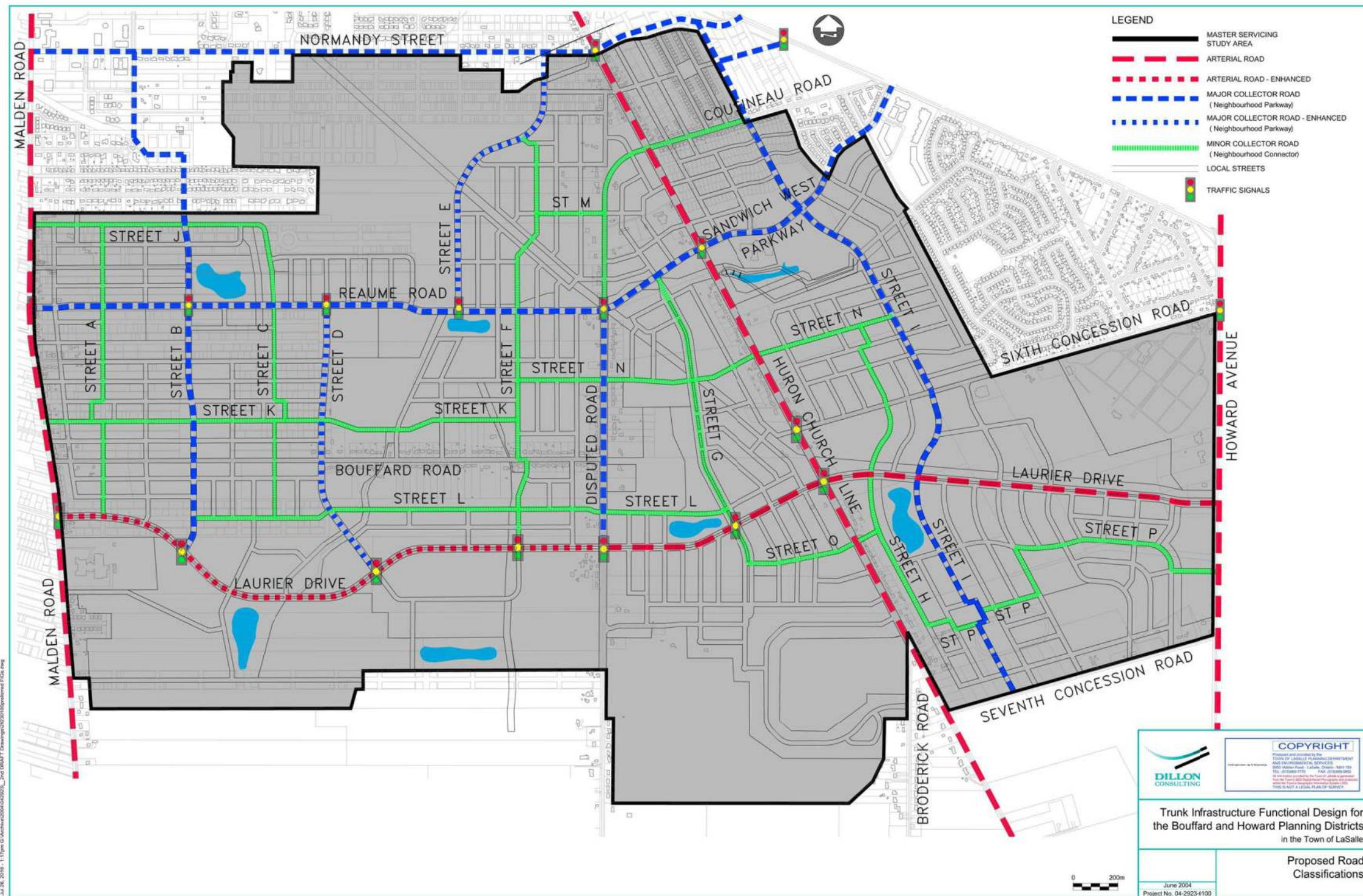
The purpose of this meeting is to provide opportunity to receive comment on:

- *Trunk Sanitary Sewer Routing;*
- *Stormwater Management Pond Locations & Proposed Drain Enclosures & Relocations;*
- *Collector & Arterial Road Network; and*
- *Storm drainage areas.*

Source: County of Essex Aerial Photograph (2016)

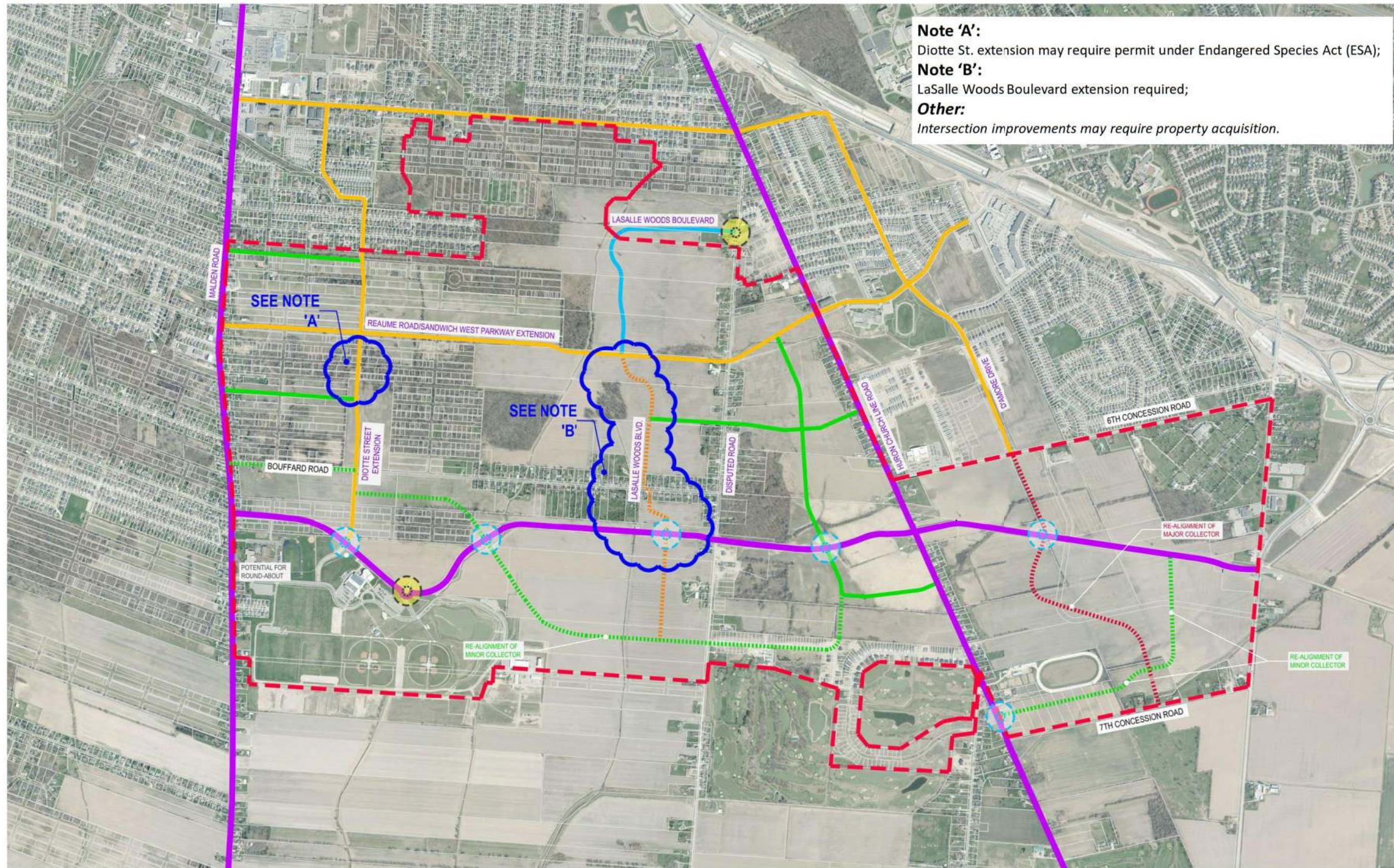
FUNCTIONAL DESIGN STUDY - ROADS

Approved/Existing Road Classifications (2005)














PREFERRED ALTERNATIVE SOLUTION - ROADS

Road Classifications (2016)



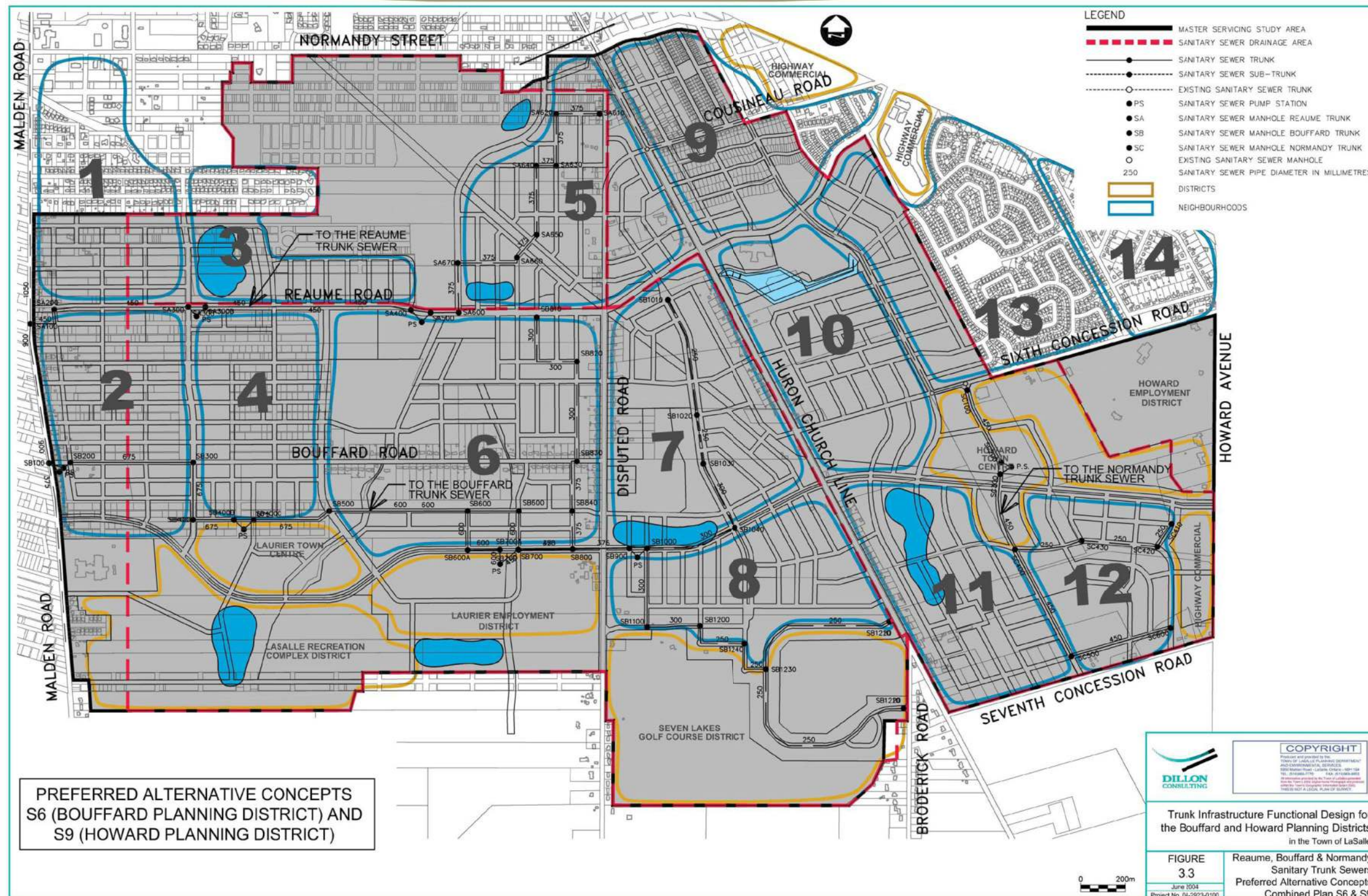
Legend

-  STUDY AREA
-  APPROVED / EXISTING ARTERIAL ROAD
-  APPROVED / EXISTING MAJOR COLLECTOR ROAD
-  APPROVED / EXISTING MAJOR COLLECTOR ROAD (ENHANCED)
-  APPROVED / EXISTING MINOR COLLECTOR ROAD
-  PREFERRED ALTERNATIVE SOLUTION MAJOR COLLECTOR ROAD
-  PREFERRED ALTERNATIVE SOLUTION MAJOR COLLECTOR ROAD (ENHANCED)
-  PREFERRED ALTERNATIVE SOLUTION MINOR COLLECTOR ROAD
-  ANNOTATION CLOUD
-  PROPOSED ROUNDABOUT
-  EXISTING ROUNDABOUT

Source: County of Essex Aerial Photograph (2016)

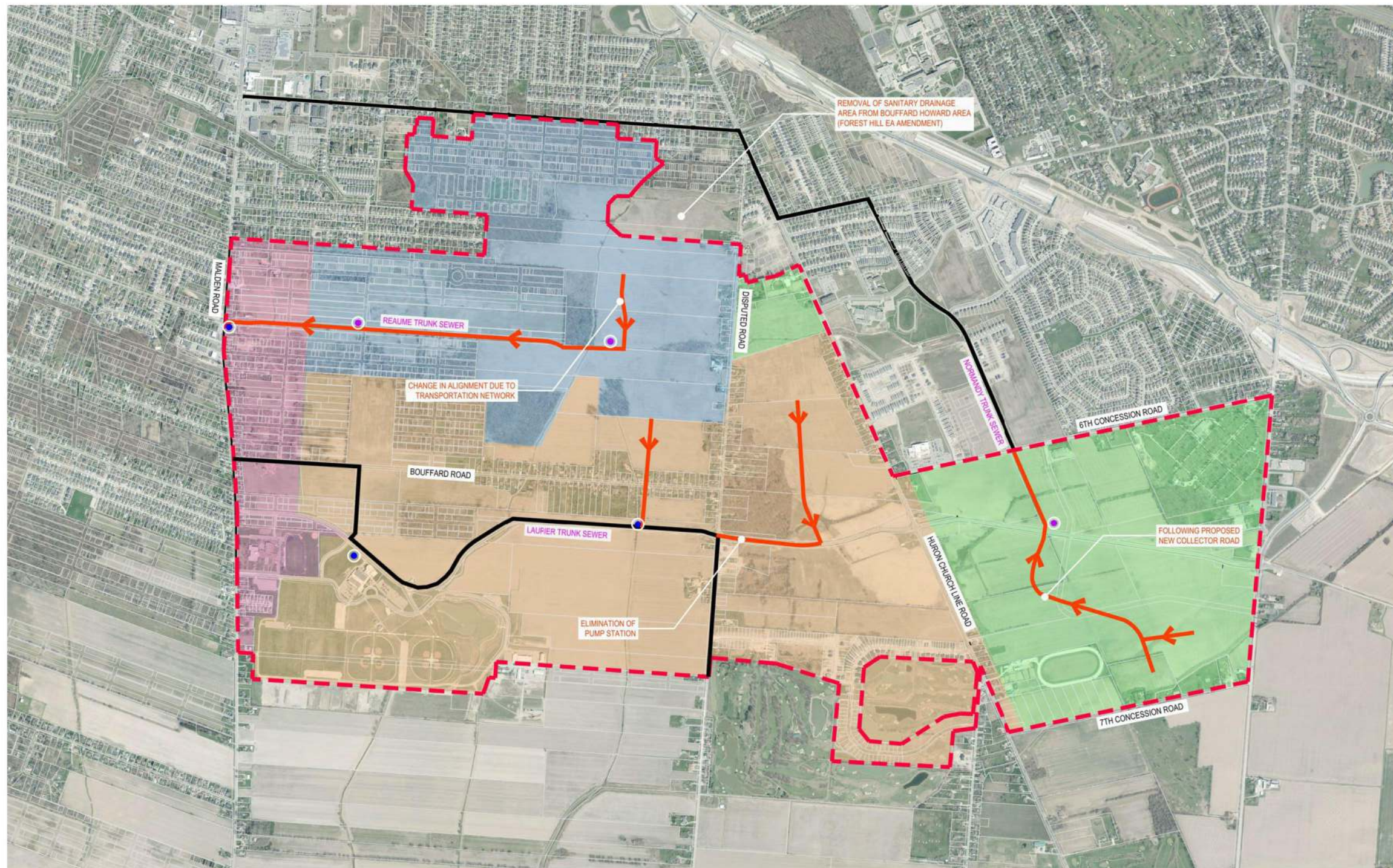
FUNCTIONAL DESIGN STUDY - SANITARY

Approved/Existing Sanitary Trunk Infrastructure (2005)



PREFERRED ALTERNATIVE SOLUTION - SANITARY

Trunk Sanitary Infrastructure (2016)



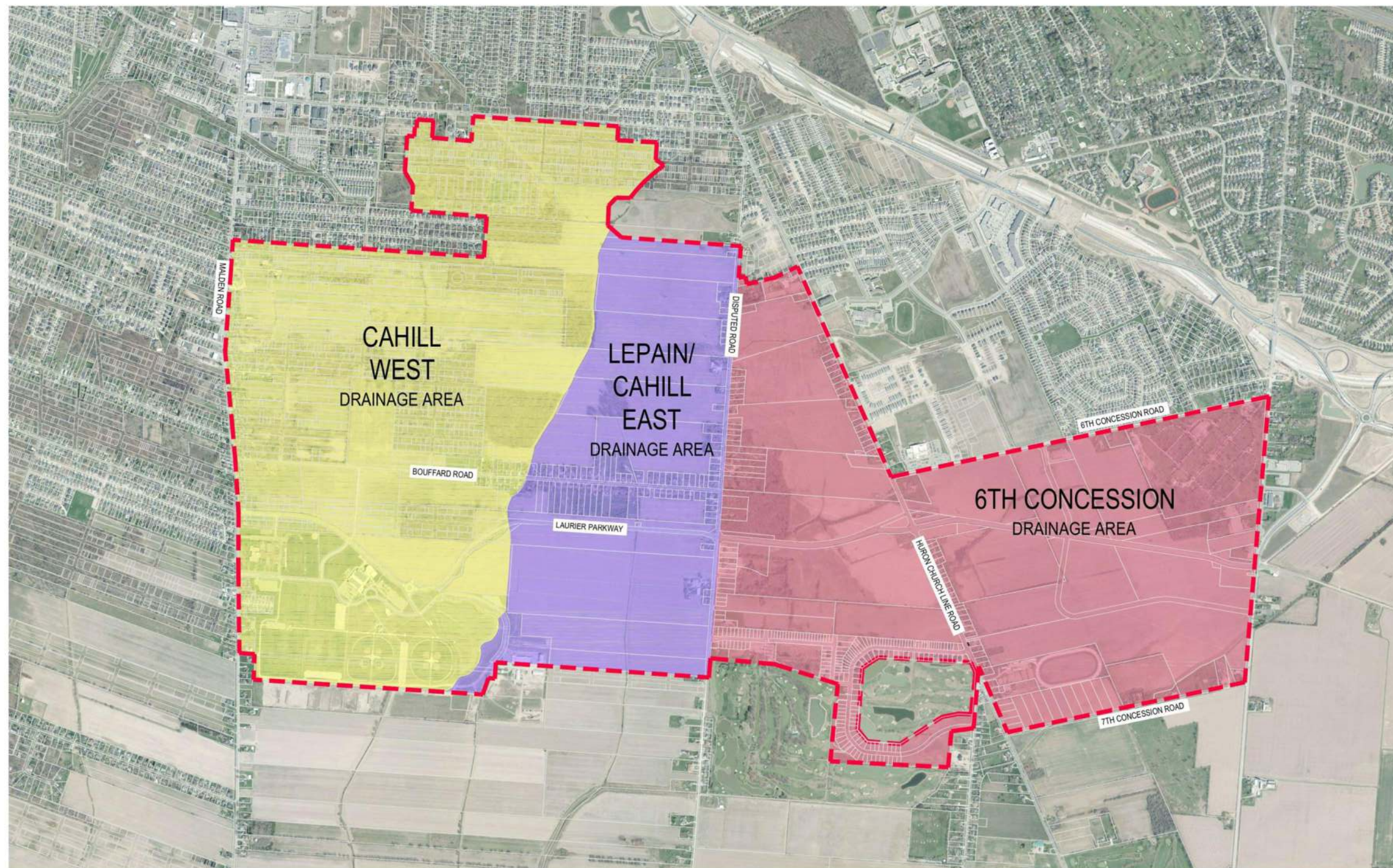
Legend

-  STUDY AREA
-  EXISTING TRUNK SANITARY SEWER
-  OPTION #1 PROPOSED TRUNK SANITARY SEWER
-  EXISTING SANITARY PUMP STATION
-  OPTION #1 PROPOSED SANITARY PUMP STATION
-  OPTION #1 LAURIER SERVICE BOUNDARY
-  OPTION #1 REALME SERVICE BOUNDARY
-  OPTION #1 NORMANDY SERVICE BOUNDARY
-  OPTION #1 MALDEN SERVICE BOUNDARY

Source: County of Essex Aerial Photograph (2016)

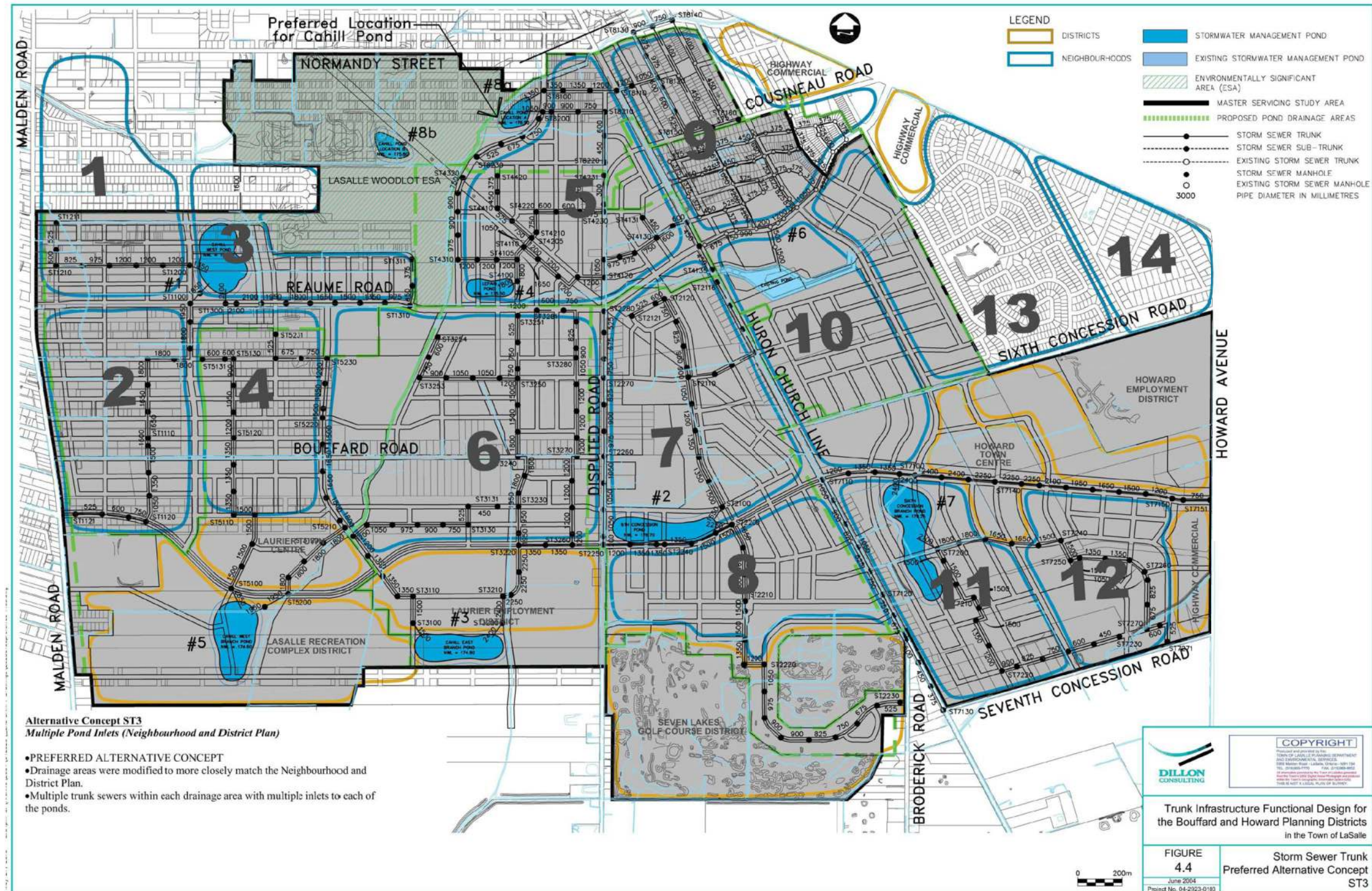
BOUFFARD HOWARD — DRAINAGE AREAS

Alternative Solutions For Drainage Study Areas (2016)



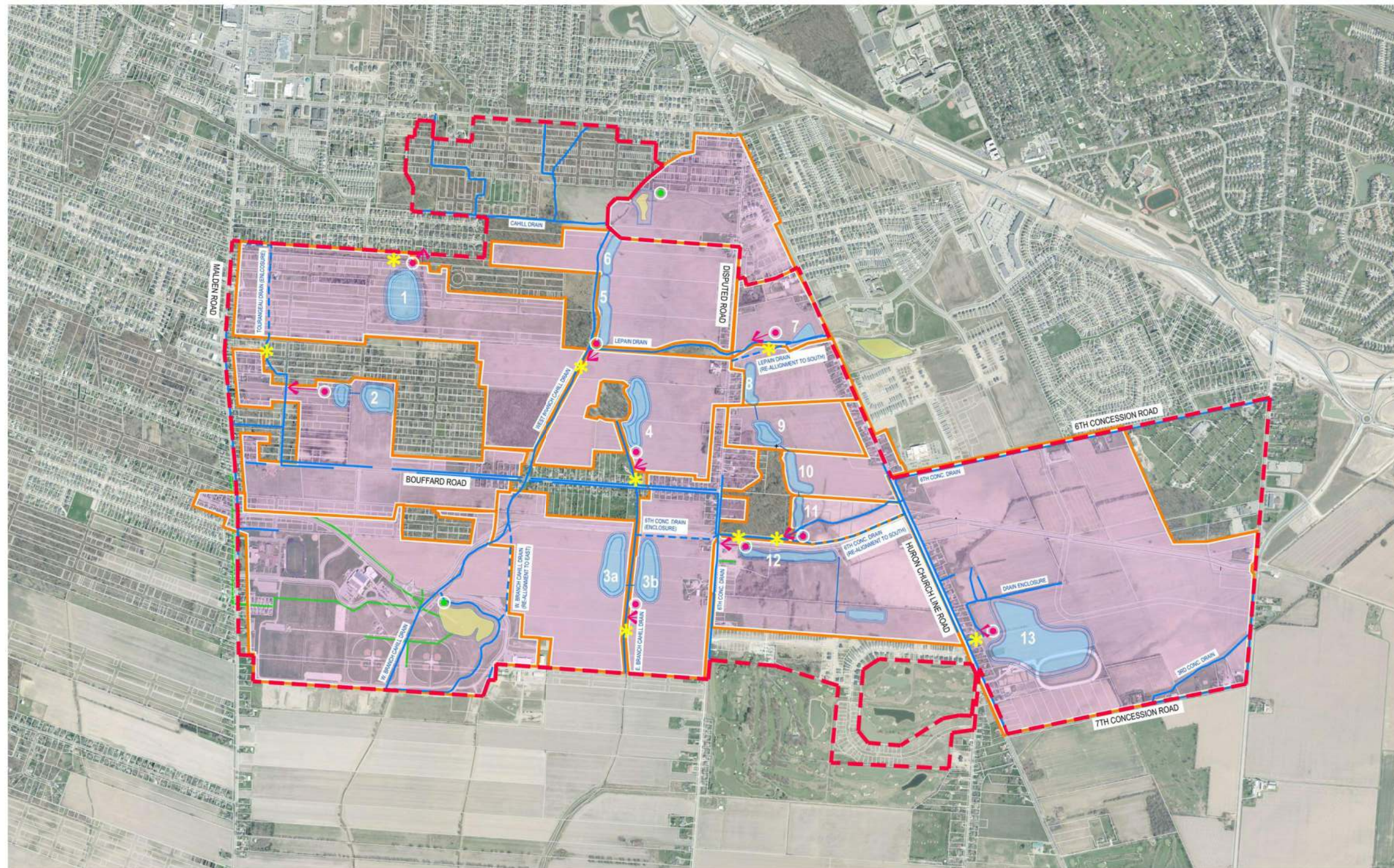
FUNCTIONAL DESIGN STUDY - STORMWATER

Approved/Existing Storm Sewer Trunk Infrastructure (2005)








PREFERRED ALTERNATIVE SOLUTION — STORMWATER

Pond Locations & Drainage Works (2016)



Legend

-  STUDY AREA
-  MUNICIPAL DRAIN ALIGNMENT
-  OPTION FOR NEW DRAIN ALIGNMENT
-  EXISTING STORM SEWER
-  PROPOSED DRAINAGE BOUNDARY
-  EXISTING POND
-  PROPOSED POND
-  PROPOSED LINEAR FACILITY
-  EXISTING PUMP STATION
-  PROPOSED PUMP STATION
-  PROPOSED POND OUTLET
-  OUTLET CAPACITY ANALYSIS REQUIRED

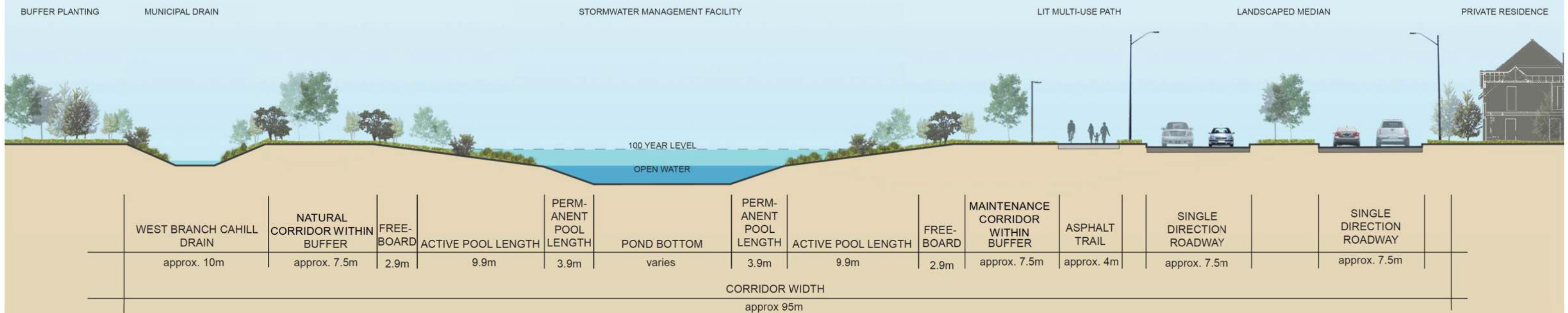
Source: County of Essex Aerial Photograph (2016)

PREFERRED ALTERNATIVE SOLUTION - STORMWATER

Illustrative Cross Sections

West Cahill Branch Drain Cross Section

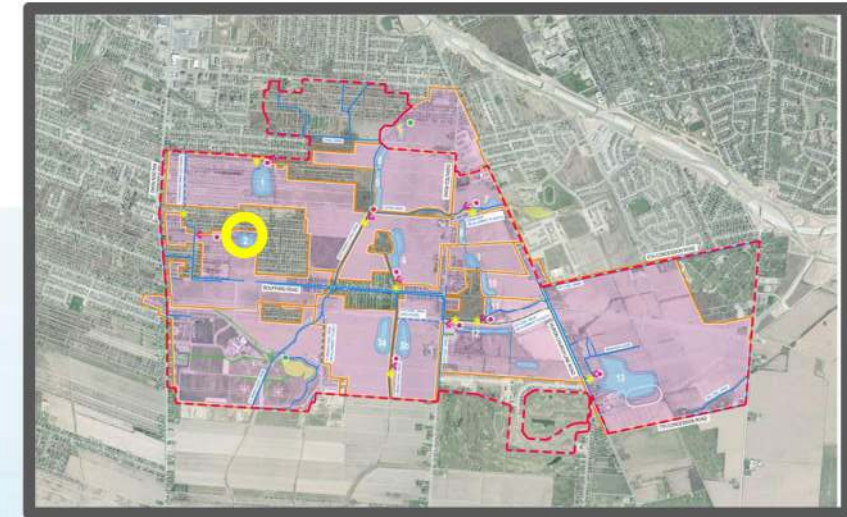
See Linear Facility #5



PREFERRED ALTERNATIVE SOLUTION - STORMWATER

Illustrative Cross Sections

Pond #2 Cross Section



STORMWATER MANAGEMENT FACILITY

ROADSIDE / TRAILSIDE LANDSCAPE

LIT MULTI-USE PATH

BUFFER PLANTING

100 YEAR LEVEL

OPEN WATER

POND BOTTOM
varies

PERM-ANENT POOL LENGTH
3.9m

ACTIVE POOL LENGTH
16m

FREE-BOARD
2.9m

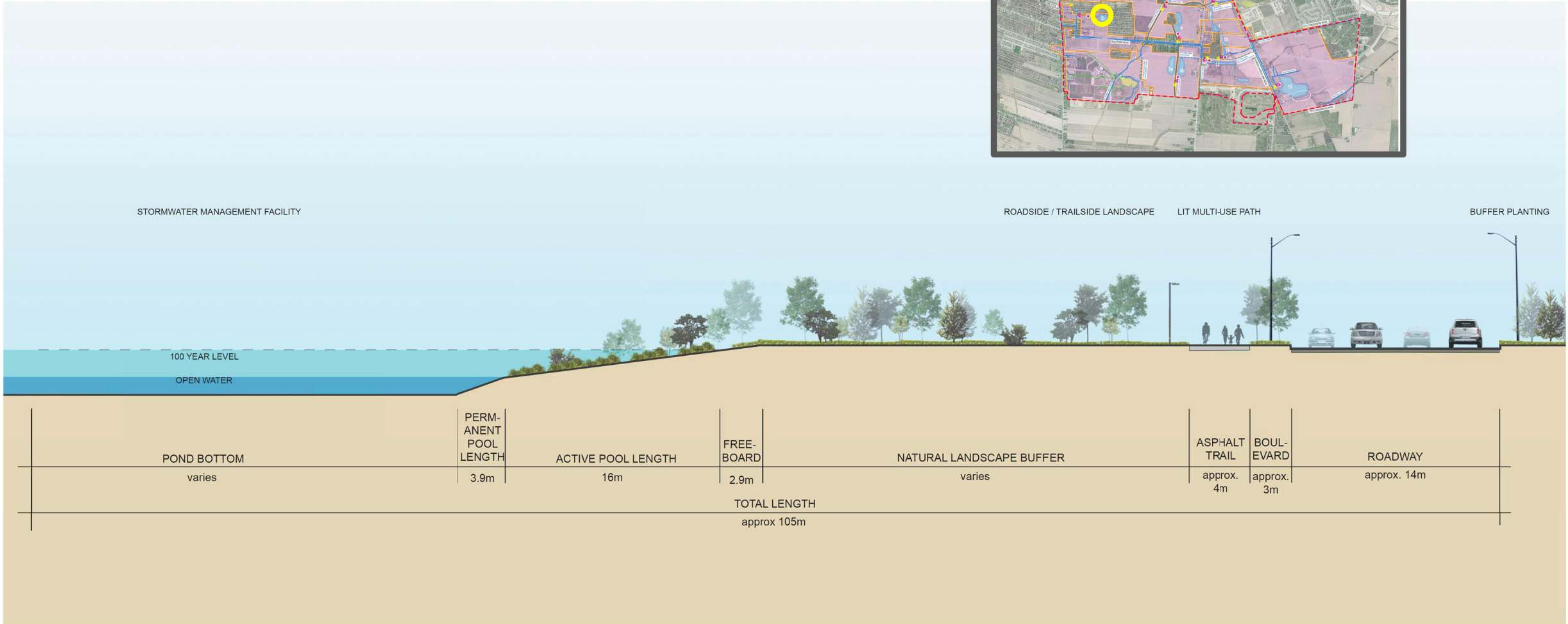
NATURAL LANDSCAPE BUFFER
varies

ASPHALT TRAIL
approx. 4m

BOUL- EVARD
approx. 3m

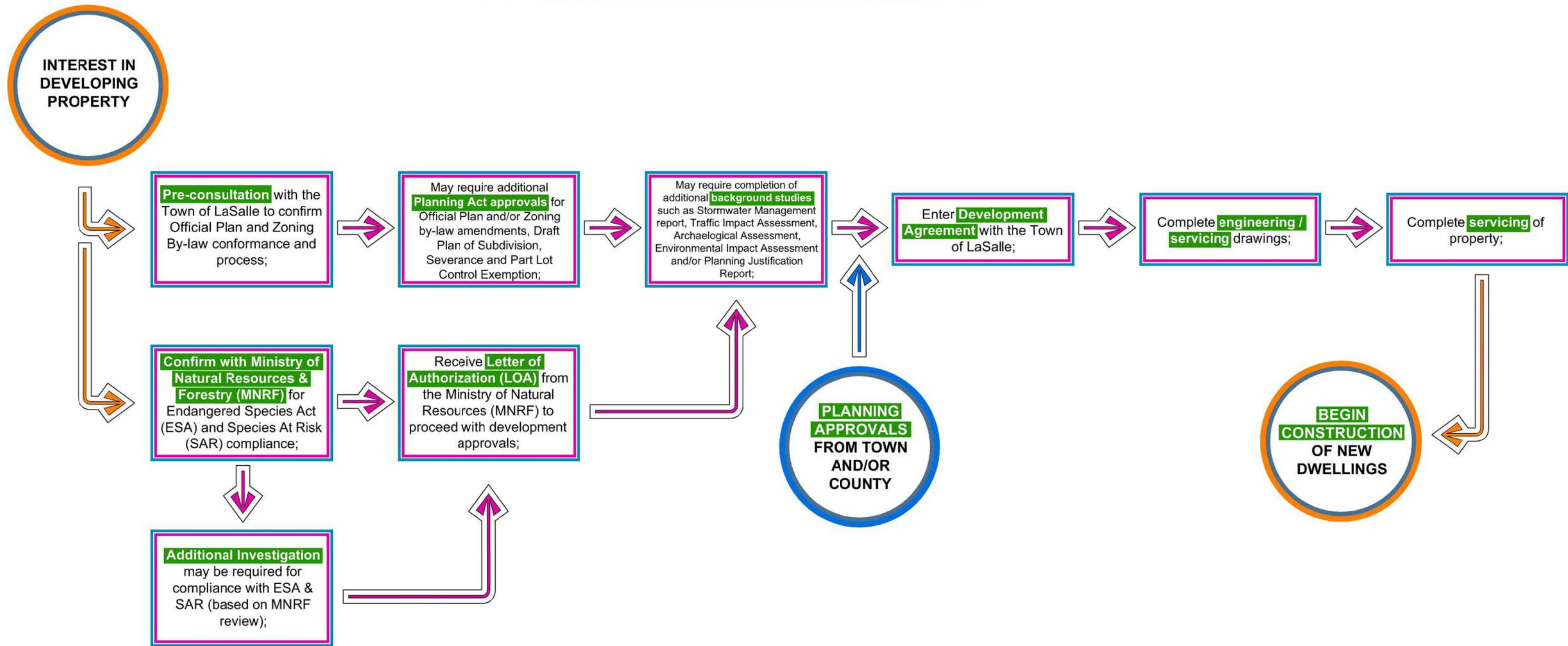
ROADWAY
approx. 14m

TOTAL LENGTH
approx 105m



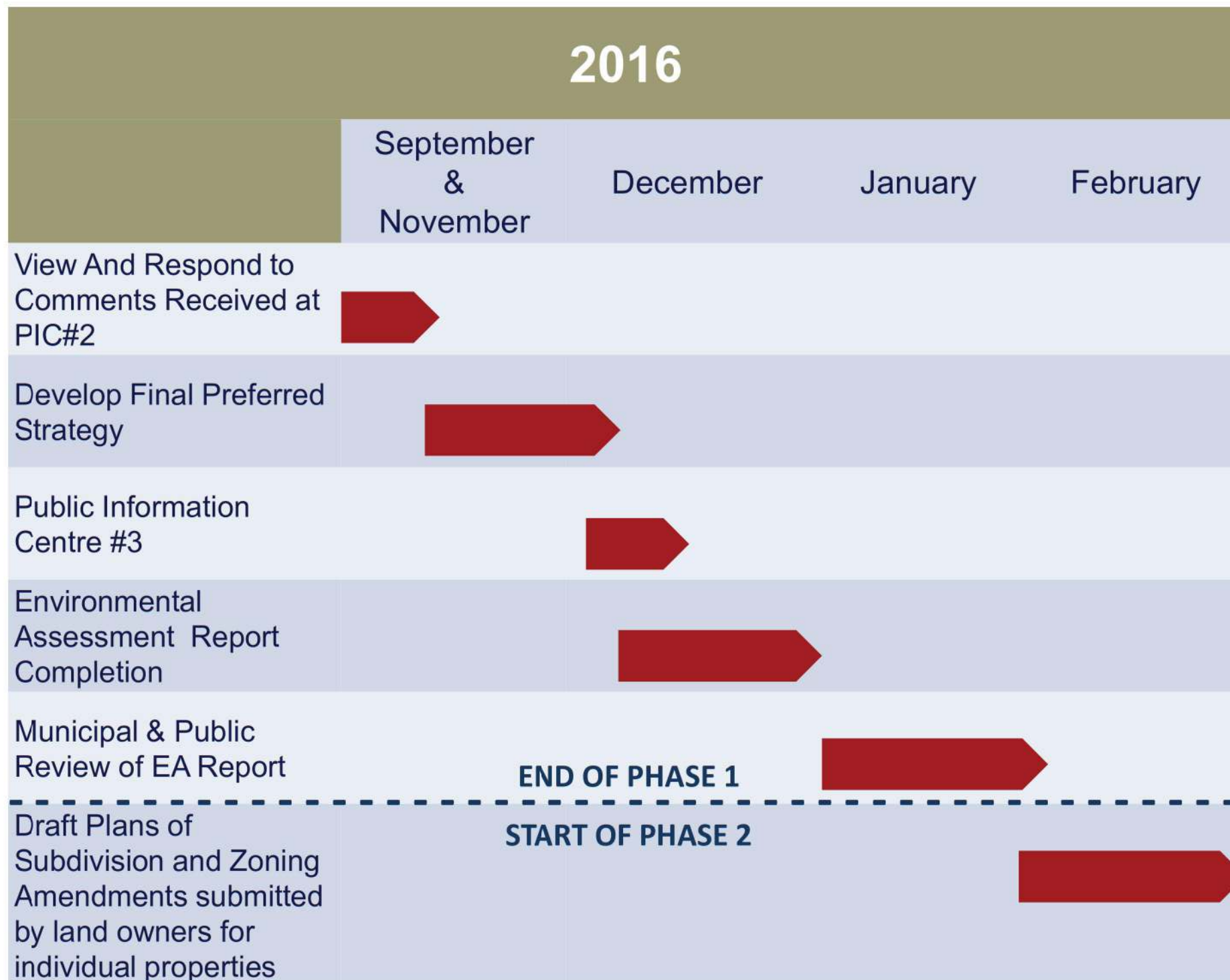
PHASE 2 – INTEGRATED PLANNING PROCESS

February 2017: Individual Applications For Draft Plan of Subdivision & Other Planning Approvals



NEXT STEPS

Class EA Addendum and Planning Approvals – Integrated Approach



Thank You For Attending!

Your input is important to the outcome of this project.

Please complete a comment form and return it by:

January 5th, 2017

Personal information collected and recorded at the Public Information Centre or submitted in writing on this subject is collected under the authority of the Municipal Act, 2011 and will be used by members of Council and Town of LaSalle staff in their review of this matter. With the exception of personal information, all comments will become part of the public record.

**Town of LaSalle: Bouffard and Howard Planning Area
Class Environmental Assessment Addendum and Planning Act Approvals**

**Public Information Centre #3 – December 15, 2016
Comment Form**

Please complete this form and return it to Dillon Consulting Limited. Information will be collected in accordance with Ontario's *Municipal Freedom of Information and Protection of Privacy Act*. With the exception of personal information all comments will become part of the public record.

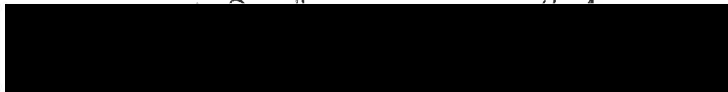
Name:

Mailing Address:



I/we prefer to receive information by email.

E-mail:



Comments/ Questions/ Concerns (Use back if more space needed):

- I SUPPORT PLACEMENT OF SMP # 5 & 2
- I SUGGEST MOVING SMP 1 TO BE ADJACENT TO THE LWESA (SHIFT TO THE EAST TO BE ADJ. TO LWESA)
- I DO NOT SUPPORT THE EXTENSION OF DLOTTE ST. THROUGH THE NAT. HERITAGE FEATURE.
- * SMP = STORM WATER MANAGEMENT POND

Please deposit this form in the comment box or return by **January 5, 2016** to:

Dillon Consulting Limited
3200 Deziel Drive, Suite 608
Windsor, Ontario, N8W 5K8

Tel: 519-948-5000, extension 3227
Fax: 519-948-5054
E-mail: ktanner@dillon.ca

Attention: Karl Tanner, MCIP, RPP

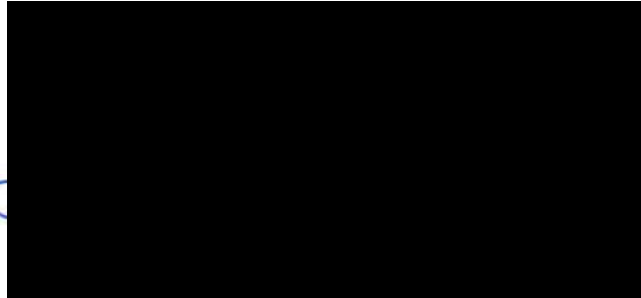
**Town of LaSalle: Bouffard and Howard Planning Area
Class Environmental Assessment Addendum and Planning Act Approvals**

**Public Information Centre #3 – December 15, 2016
Comment Form**

Please complete this form and return it to Dillon Consulting Limited. Information will be collected in accordance with Ontario's *Municipal Freedom of Information and Protection of Privacy Act*. With the exception of personal information all comments will become part of the public record.

Name:

Mailing Address:



I/we prefer to receive information by email.

E-mail:



Comments/ Questions/ Concerns (Use back if more space needed):

Pull up email history and blow up preferred solution for property area.

Please deposit this form in the comment box or return by **January 5, 2016** to:

Dillon Consulting Limited
3200 Deziel Drive, Suite 608
Windsor, Ontario, N8W 5K8

Tel: 519-948-5000, extension 3227
Fax: 519-948-5054
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Name: _____

Mailing Address: _____

I/we prefer to receive information by email.

E-mail: _____

Comments/ Questions/ Concerns (Use back if more space needed):

Own land off Valiant with Brothers - Multiple lots
we are prepared to sell, the land is clean

Please deposit this form in the comment box or return by **January 5, 2016** to:

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Tel: 519-948-5000, extension 3227
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Name: _____

Mailing Address: _____



I/we prefer to receive information by email.

E-mail: _____

Comments/ Questions/ Concerns (Use back if more space needed):

Request sides/ Intergate Planning sheet
(Paper copy)

Please deposit this form in the comment box or return by **January 5, 2016** to:

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Windsor, Ontario, N8W 5K8

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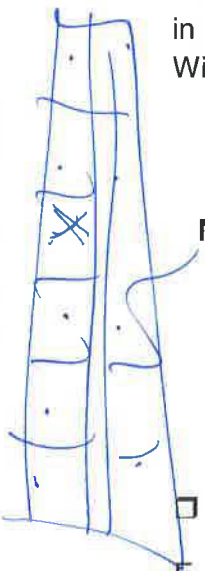
Attention: Karl Tanner, MCIP, RPP



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Name:



Mailing Address:

final previous circuit board development
process.

I/we prefer to receive information by email.

E-mail:

Comments/ Questions/ Concerns (Use back if more space needed):

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Windsor, Ontario, N8W 5K8

Tel: 519-948-5000, extension 3227
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Attention: Karl Tanner, MCIP, RPP

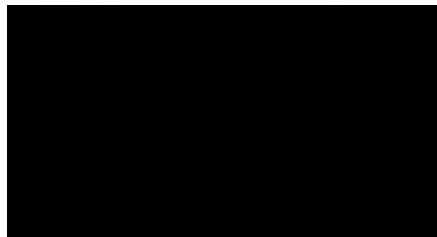
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Name:

Mailing Address:



I/we prefer to receive information by email.

E-mail:



Comments/ Questions/ Concerns (Use back if more space needed):

had previous email and send development process-

Please deposit this form in the comment box or return by **January 5, 2016** to:

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Name:

[Redacted Name]

Mailing Address:

[Redacted Mailing Address]

I/we prefer to receive information by email.

E-mail: _____

Comments/ Questions/ Concerns (Use back if more space needed):

find previous email and send development process -

Please deposit this form in the comment box or return by **January 5, 2016** to:

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Tel: 519-948-5000, extension 3227
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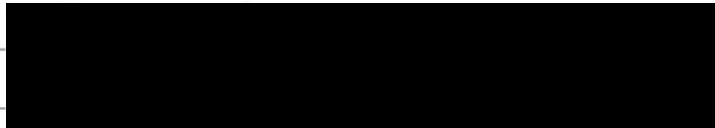
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Name:



Mailing Address:

- send copies & show property on figures
- timing?

I/we prefer to receive information by email.

E-mail: _____

Comments/ Questions/ Concerns (Use back if more space needed):

Please deposit this form in the comment box or return by **January 5, 2016** to:

Dillon Consulting Limited
3200 Deziel Drive, Suite 608
Windsor, Ontario, N8W 5K8

Tel: 519-948-5000, extension 3227
Fax: 519-948-5054
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Attention: Karl Tanner, MCIP, RPP



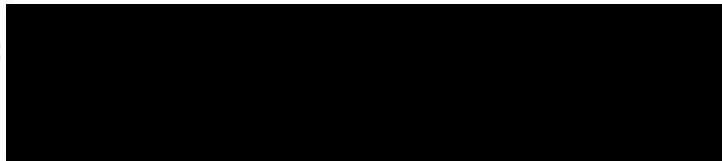
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Name:

Mailing Address:



I/we prefer to receive information by email.

E-mail:



Comments/ Questions/ Concerns (Use back if more space needed):

Representative (Harry White) talking about ~~the~~ how "wooded areas don't make anyone money". Disregard for natural environment and endangered species protection. Mentioned how species-at-risk, specifically Eastern Foxsquirrels, are commonly killed as pests in Michigan but are protected in Ontario because ~~of~~ their range "spills into Ontario" (EATO range up to E. Georgian Bay historically).

Please deposit this form in the comment box or return by **January 5, 2016** to:

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Tel: 519-948-5000, extension 3227
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Attention: Karl Tanner, MCIP, RPP

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Name: _____

Mailing Address: _____

LOTS 207 + 208 PLAN 1256

where?

I/we prefer to receive information by email.

E-mail: _____

Comments/ Questions/ Concerns (Use back if more space needed):

find property and send information

Please deposit this form in the comment box or return by **January 5, 2016** to:

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3200 Deziel Drive, Suite 608
Windsor, Ontario, N8W 5K8

Tel: 519-948-5000, extension 3227
Fax: 519-948-5054
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Attention: Karl Tanner, MCIP, RPP

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Name: _____

Mailing Address: _____



I/we prefer to receive information by email.

E-mail: _____

Comments/ Questions/ Concerns (Use back if more space needed):

Would have been beneficial if Alan Burgess or
whomever could have been present to let us know
specifically where owned lots are on map. Therefore
implications if land can be developed or not would
be know right away.

Please deposit this form in the comment box or return by **January 5, 2016** to:

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Attention: Karl Tanner, MCIP, RPP

**Town of LaSalle: Bouffard and Howard Planning Area
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Name:

Mailing Address:

[Redacted Name and Mailing Address]

I/we prefer to receive information by email.

E-mail:

[Redacted E-mail Address]

Comments/ Questions/ Concerns (Use back if more space needed):

The #4 Pond has been moved further SOUTH from prior plan. Please return to NORTH of the trees.
Mx.

Please deposit this form in the comment box or return by **January 5, 2016** to:

Dillon Consulting Limited
3200 Deziel Drive, Suite 608
Windsor, Ontario, N8W 5K8

Tel: 519-948-5000, extension 3227
Fax: 519-948-5054
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Attention: Karl Tanner, MCIP, RPP



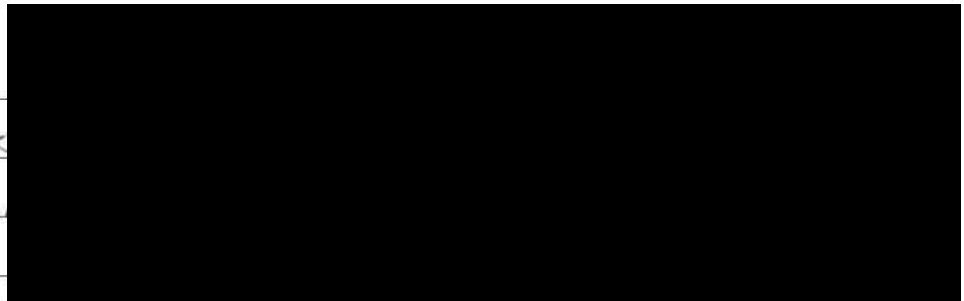
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Name: _____

Mailing Address: _____



I/we prefer to receive information by email.

E-mail: _____



Comments/ Questions/ Concerns (Use back if more space needed):

What happened ??? The # 4 Pond has been changed!!! It is now further south from the prior plan. Please return the #4 Pond to the other side of the trees to the North!!!
Thank you!

Please deposit this form in the comment box or return by **January 5, 2016** to:

Dillon Consulting Limited
3200 Deziel Drive, Suite 608
Windsor, Ontario, N8W 5K8

Tel: 519-948-5000, extension 3227
Fax: 519-948-5054
E-mail: ktanner@dillon.ca

Attention: Karl Tanner, MCIP, RPP



3 January 2017 at 07:52

To: "White, Harry" <hwhite@dillon.ca>

Cc: "sstanlake@dillon.ca" <sstanlake@dillon.ca>, 163470 <163470@dillon.ca>

Good Morning Harry and Sabrina,

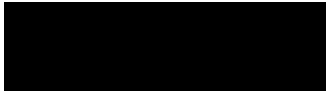
Happy New Year to both of you and your families!

I was wondering if you could further assist with the following questions below when you have a moment.

Thank you in advance for your time and expertise.

1. Has a formal Development Agreement been reached with any of the landowners or developers at this point? If yes, is there a copy of this agreement? Is there a copy of the master site plan? Is there a conceptual lot plan?
2. What does the "Phasing" schedule look like? In other words, in what area will the first lots be brought to market? Which section will be developed first, and what is the overall timeline/schedule for the entire area to develop?
3. How many developers are involved? Are they planning on assembling the land from current landowners or are they going to work with current landowners to develop the area? How much land within the area do these developers currently own?
4. Are there currently any infrastructure/servicing/greenspace or other "right-of-way" requirements that affect part or all of my land?
5. When will the final approval of this development plan be on the floor of town council? When will servicing begin? Who is paying for the servicing and infrastructure requirements? And how will my property taxes be affected by this?

Kind Regards,



[Quoted text hidden]

[Quoted text hidden]

This message is directed in confidence solely to the person(s) named above and may contain privileged, confidential or private information which is not to be disclosed. If you are not the addressee or an authorized representative thereof, please contact the undersigned and then destroy this message.

Ce message est destiné uniquement aux personnes indiquées dans l'entête et peut contenir une information privilégiée, confidentielle ou privée et ne pouvant être divulguée. Si vous n'êtes pas le destinataire de ce message ou une personne autorisée à le recevoir, veuillez communiquer avec le soussigné et ensuite détruire ce message.



White, Harry <hwhite@dillon.ca>

Re: To Whom it Should Concern

1 message

On Thu, Jan 5, 2017 at 9:34 PM, [REDACTED]

I just saw the new concept for more homes and new roads....near LaSalle and the bush area you plan on taking down with all the trees and animals that reside there...there is no reason to cut back on the wooded areas and this will make forested area smaller...absolutely disgusting..we don't have alot of forested areas left not to mention the trees and the animals...there should be no road near this area at all...the only thing that will happen is you will be killing what's left of a gorgeous area and the death of animals trying to forage for more eating areas...LaSalle wouldn't be the same at all....killing of trees and animals is not in Gods' Plan for a sanctuary for them...how can you go ahead with this and it is okay in your mind to continue..killing the forested areas' and the animals who live there..like I said it's just disgusting...go bacck to the drawing board and fix this situation pronto...regards [REDACTED]

January 5, 2017

Karl Tanner, MCIP, RPP
Dillon Consulting Limited
3200 Deziel Drive, Suite 608
Windsor, ON N8W 6K8

RE: Bouffard and Howard Planning Area

Dear Karl:

My letter is concerning the proposed roadways and residential developments as proposed in the Bouffard Planning area Class Environmental Assessment open house Dec 15, 2016. The mapping at the open house was very confusing. It did not provide any information on LaSalle's identified Environmentally Significant Areas, Candidate for Natural Heritage, and Provincially Significant Wetland, Areas of Natural and Scientific Interest. Further, existing natural/forested areas were obscured, due to the overlay of projected future residential plots.

After considerable time and effort referencing additional mapping afterwards, the Diotte St. Extension and LaSalle Woods Blvd., amongst others, dissect forests and a Candidate for Natural Heritage. Additionally, most of the forests and natural features in this planning area will be terminated.

The impact of this EA proposal is very daunting. What impact will have on LaSalle's existing 9.19 % and 7.17 % remaining forest areas and wetlands respectively? Federal guidelines suggest a minimum of 30% forest coverage and 10% wetlands for healthy species diversity. LaSalle is below both guidelines, hosting some of the rarest species in the province, with the lowest natural areas in the province.

Additional planning is necessary to preserve additional natural lands, connectivity of existing natural corridors, and linkages in LaSalle's greenway system. Healthy communities keep their natural areas intact.

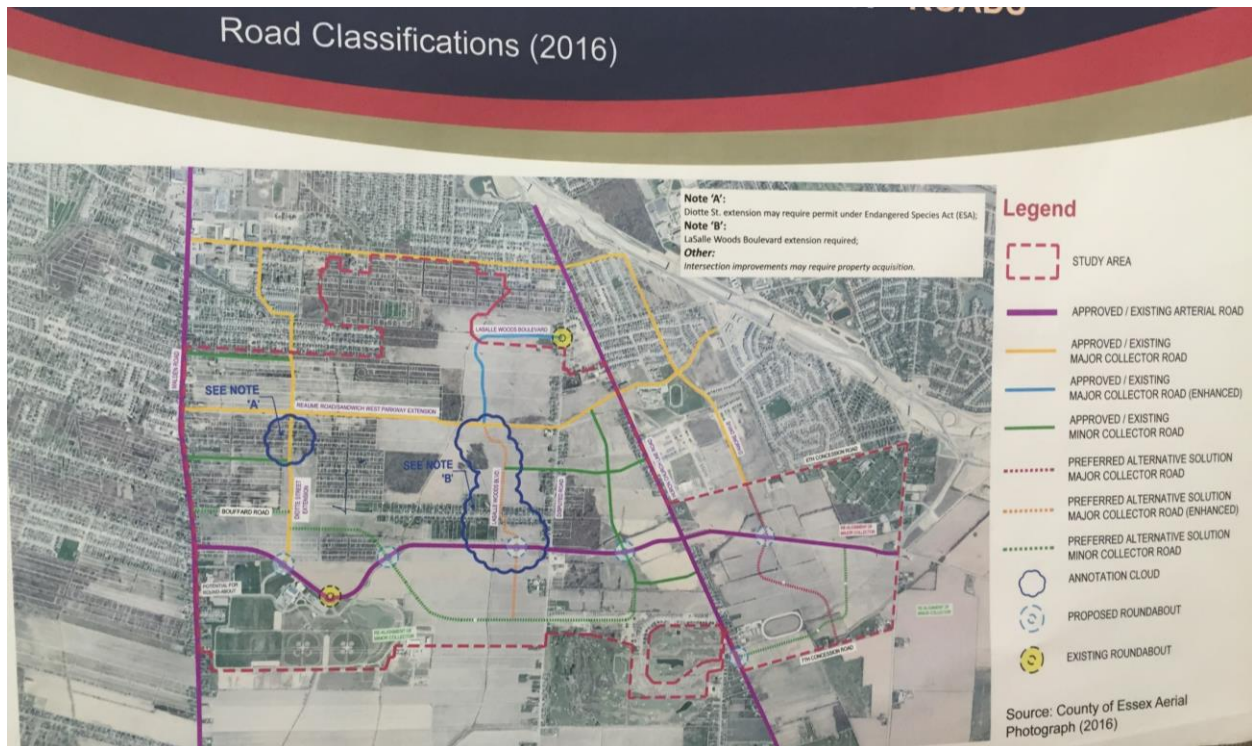
Sincerely,



LaSalle Natural Heritage



Mapping provided at Environmental Assessment Open House (Dec 15, 2016)





White, Harry <hwhite@dillon.ca>

Re: FW: [REDACTED] the EA open house presented on Dec. 15, 2016.....
Are there maps or a power point available for this presentation?

Tanner, Karl <ktanner@dillon.ca>
To: Larry Silani <lsilani@lasalle.ca>, Harry White <hwhite@dillon.ca>
Cc: Peter Marra <pmarra@lasalle.ca>, Allen Burgess <aburgess@lasalle.ca>

6 January 2017 at 08:42

Larry
We will forward a PDF of the PIC# 3 boards to [REDACTED]
Regards
Karl



Karl Tanner
Partner
Dillon Consulting Limited
3200 Deziel Drive Suite 608
Windsor, Ontario, N8W 5K8
T - 519.948.4243 ext. 3227
F - 519.948.5054
M - 519.791.2168
KTanner@dillon.ca
www.dillon.ca

Please consider the environment before printing this email

On Fri, Jan 6, 2017 at 8:31 AM, Larry Silani <lsilani@lasalle.ca> wrote:

Can you send her your PIC 3 boards

From: [REDACTED]
Sent: January 5, 2017 9:08 PM
To: Larry Silani <lsilani@lasalle.ca>
Subject: [REDACTED] the EA open house presented on Dec. 15, 2016..... Are there maps or a power point available for this presentation?

Larry Silani

Larry Silani, MCIP RPP
Director of Development & Strategic Initiatives
Town of LaSalle
5950 Malden Road, LaSalle, ON N9H 1S4
Tel: 519.969.7770 ext. 1288
Email: lsilani@lasalle.ca

Department of Planning

Mr. Silani

|
[REDACTED] has sent a notice on Jan 5, 2017 via Friends of Save Ojibway on Facebook on the matters addressed in the recent open house of Dec. 15, 2015. She has downloaded 2 maps which cannot be properly viewed, one regarding natural heritage and other proposed road systems. I was not able to attend the meeting, at the time, but now in perusing these maps I wonder if they could be accessed to view in a better format. Is there a power point available or other documents available?

Sincerely

|
[REDACTED]
|
[REDACTED]
[REDACTED]

LaSalle, ON, November 2, 2016

Mr. Larry Silani, Director of Development & Strategic Initiatives, Town of LaSalle
Mr. Karl Tanner, MCIP, RPP, Dillon Consulting Limited, Windsor, Ontario
Hon. Glen R. Murray, Minister of Environment and Climate Change of Ontario
Hon. Madam Kathleen O. Whyhne, Premier of Ontario
Distinct Ken Antaya, Mayor of LaSalle, Ontario
Distinct Marc Bondy, Deputy Mayor of LaSalle, Ontario
Mr. Mike Akpata, Councillor Town of LaSalle
Mr. Terry Burns, Councillor Town of LaSalle
Madam Sue Desjarlais, Councillor Town of LaSalle
Madam Crystal Meloche, Councillor Town of LaSalle
Mr. Jeff Renaud, Councillor Town of LaSalle

Madams, Gentlemen:

Back in 1996, my wife and I (now both retired) bought a 330' frontage plot of land on the north side of Hollinger St. (Plan #734, lot numbers 290 to 300, inclusive), in the town of LaSalle, Ontario. Our plan was to one day being able to develop the property and eventually build at least 3 houses on it; one for us and one each for our two children. We also thought there would be the potential for two more building lots, which could be used to generate some profits as a supplement to our retirement. In short, it was an investment for the future. During all these years we have duly paid all the property taxes on this land, on time, without hesitation, nor interruption. Several months ago, we received a notice from the Town of LaSalle, titled "Town of LaSalle: Bouffard and Howard Planning Area", notifying us of an upcoming meeting/open house regarding the eventual imminent development of a large area within the boundaries of the town, our plot being part of such an area. To our big surprise, disappointment and dismay, at such meeting, we learned that our land and some other adjacent properties, had been designated by the Ministry of the Environment as environmentally sensitive, and therefore, not suitable for development. Wow! Just like that, without any notification whatsoever!?

We are nature lovers, ourselves. In my life, I have personally planted dozens of trees and shrubs. I love the outdoors; 90% of my travels involve the outdoors. I see myself as being part of nature and like the North-American aboriginals, I believe that we all belong to the earth; the earth does not belong to us. My wife and I also do believe that such huge land developments should contain numerous plots of land dedicated to conservation and recreation for humans, animals, plants – smart planning. If not, we wouldn't be doing nature and ultimately ourselves, any justice.

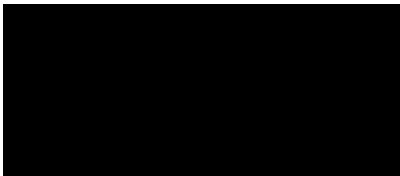
Given the size of the mentioned development, we surely know that hundreds of residential building lots will be created. The big question is: why are many owners going to be successful, profitable and happy with their properties, at the expense of those who have to sacrifice their own? If we are going to have natural areas, including woodlands, prairies, ponds, etc., as we should, all of which for the enjoyment of most future residents, why not at least compensate the owners who are contributing directly for them? My wife and I, believe that we've been unfortunate in not realizing our original dream of building a home adjacent to our two children's families and not realizing some eventual profits to support our retirement years. However, since we do support the purpose of the authorities' decision, for which we cannot develop, in the world of fairness, we feel we should be duly compensated, either directly by those who will be able to develop, or the authorities should come up with a plan

that they think would be most suitable for everyone. We truly believe this should be done, because if the situation were to be reversed, we wouldn't even hesitate to contribute our share to help compensate those who are giving up properties acquired with their own hard earned dollars.

Therefore, what we are proposing is that the Town of LaSalle could impose a fee to each and every owner of the eventually realized building lots which will be approved for development. Such fees can, therefore, be used to compensate all the owners who are being denied development. Only by doing so, will the Town – and/or any other authority – act fairly, ethically and responsibly for their citizens.

Please note that this is only a suggestion and if the authorities can come up with better plans, we would have no problem with that, as long as, in the end, the results will be the same.

Best regards to all,



Please note: the entire Town of LaSalle Council has been sent copies of this letter on an individual basis, as their email addresses are found on the town's Website.



Golob, Pablo <pgolob@dillon.ca>

Fwd: TOWN OF LASALLE: BOUFFARD AND HOWARD PLANNING AREA CLASS ENVIRONMENTAL ASSESSMENT ADDENDUM AND PLANNING ACT APPROVALS

2 messages

White, Harry <hwhite@dillon.ca>
To: Pablo Golob <pgolob@dillon.ca>

Wed, Jan 18, 2017 at 4:27 PM

----- Forwarded message -----

From: [REDACTED]
Date: 12 January 2017 at 20:15
Subject: TOWN OF LASALLE: BOUFFARD AND HOWARD PLANNING AREA CLASS ENVIRONMENTAL ASSESSMENT ADDENDUM AND PLANNING ACT APPROVALS
To: [REDACTED]

[REDACTED]

[REDACTED]

First of all, my wife and I should really mention the fact that it is depressing that we even have to write these letters. For further reference to our situation, please see the attached document which was written and sent on November 2, 2016 and left in its originality. Of all the addressees on that letter, only Mr. Silani (thanks again, Sir) answered and that was done in a very kind, comprehensive manner. Ms. Meloche answered vaguely, pretty well just to tell us that Mr. Silani had answered... ... Our point is that if we sent the document to all those addressees (not ccs), it should have been answered by each and everyone, individually. On that note, Premier Wynne, we must say that having written to you several times, in the past, even about other issues, we never got a reply from you – not nice. Carbon copy with Mayor Antaya; every member of your Council, Sir, was addressed!!! Madame Riddell, we finally got your email address. We had been given your phone number, but after several attempts since June 7, 2016, we were never lucky to get an answer.

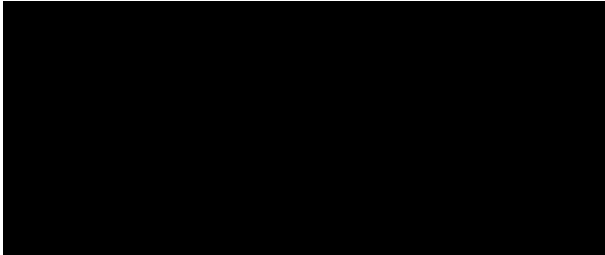
So, there you are, Ladies and Gentlemen; all of you. If we are missing anyone, we'd be glad to know who, so we could write to him/her too.

As we said in the original letter, my wife and I are totally in favour of a clean, green environment – air, water, food, animals, plants and so on. If our land will not be allowed to be developed for residency, as the case will be for many other owners, however, we strongly believe that it is the responsibility of one, several, or all of you, elected or not, to create a plan where those who cannot develop, will be duly compensated – likely by those who can, because they are the ones who will enjoy the benefits.

There is nothing like having a plot of trees, a pond, walking/biking trails or a combination of all of the above in several areas of a huge development of such a size. The problem is, as with all the other big expenses that come with a development, that


plot of trees/pond/trails comes with a price too. It is so, because, as in our case, since 1996, the year we purchased the land, on top of the principal investment cost, we've been paying property tax for it every year thereafter, until 2016 and, you guessed it, this year and at least for the next three, MPAC wants more! So, are you, Ladies and Gentlemen, going to act responsibly? For the sake of fairness to all your constituents and/or residents, we trust you will.

Kind regards to all,




Harry White
 Dillon Consulting Limited
 3200 Deziel Drive Suite 608
 Windsor, Ontario, N8W 5K8
 T - 519.948.5000 ext. 3217
 F - 519.948.5054
 HWhite@dillon.ca
 www.dillon.ca

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 BOUFFARD AND HOWARD PLANNING AREA.doc
37K

White, Harry <hwhite@dillon.ca>
To: Pablo Golob <pgolob@dillon.ca>

Wed, Jan 18, 2017 at 4:28 PM

----- Forwarded message -----

From: Tanner, Karl <ktanner@dillon.ca>
Date: 13 January 2017 at 10:33
Subject: Re: TOWN OF LASALLE: BOUFFARD AND HOWARD PLANNING AREA CLASS ENVIRONMENTAL ASSESSMENT ADDENDUM AND PLANNING ACT APPROVALS

To: [Redacted]
[Redacted]
[Redacted]
[Redacted]
[Redacted]
[Redacted]

[Redacted]

Thank-you for your comments related to your lands within the Bouffard Planning District. We will include your written comments as part of Public Information Centre (PIC) #3 for the Bouffard Howard Class Environmental Assessment Amendment. You have raised a number of concerns in your letter that are beyond the scope of our study; however, we understand that these comments are important to you and require the appropriate attention and a thoughtful response by others included in your distribution list. As such, we will allow those individuals included on the email to provide their response to your questions as requested.
Regards
Karl



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[Redacted]
[Redacted]
[Redacted] and all carbon copied Ladies and

Gentlemen:

First of all, my wife and I should really mention the fact that it is depressing that we even have to write these letters. For further reference to our situation, please see the attached document which was written and sent on November 2, 2016 and left in its originality. Of all the addressees on that letter, only Mr. Silani (thanks again, Sir) answered and that was done in a very kind, comprehensive manner. Ms. Meloche answered vaguely, pretty well just to tell us that Mr. Silani had answered... .. Our point is that if we sent the document to all those addressees (not ccs), it should have been answered by each and everyone, individually. On that note, Premier Wynne, we must say that having written to you several times, in the past, even about other issues, we never got a reply from you – not nice. Carbon copy with Mayor Antaya; every member of your Council, Sir, was addressed!!! Madame Riddell, we finally got your email address. We had been given your phone number, but after several attempts since June 7, 2016, we were never lucky to get an answer.

So, there you are, Ladies and Gentlemen; all of you. If we are missing anyone, we'd be glad to know who, so we could write to him/her too.

As we said in the original letter, my wife and I are totally in favour of a clean, green environment – air, water, food, animals, plants and so on. If our land will not be allowed to be developed for residency, as the case will be for many other owners, however, we strongly believe that it is the responsibility of one, several, or all of you, elected or not, to create a plan where those who cannot develop, will be duly compensated – likely by those who can, because they are the ones who will enjoy the benefits.

There is nothing like having a plot of trees, a pond, walking/biking trails or a combination of all of the above in several areas of a huge development of such a size. The problem is, as with all the other big expenses that come with a development, that plot of trees/pond/trails comes with a price too. It is so, because, as in our case, since 1996, the year we purchased the land, on top of the principal investment cost, we've been paying property tax for it every year thereafter, until 2016 and, you guessed it, this year and at least for the next three, MPAC wants more! So, are you, Ladies and Gentlemen, going to act responsibly? For the sake of fairness to all your constituents and/or residents, we trust you will.

[Redacted]

[Redacted]

[Redacted]

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Appendix F

Record of Consultation with First Nations

Bouffard Howard Class Environmental Assessment Addendum

Record of Consultation with First Nations

The following outlines the consultation completed with First Nations throughout the project.

All of the First Nations listed in Table 1 were sent the following correspondence:

- Notice of Commencement and Public Information Centre #1 - June 6th, 2016;
- Notice of Public Information Centre #2 - July 27th, 2016;
- Notice of Public Information Centre #3 - September 23rd, 2016;
- Notice of re-scheduled Public Information Centre #3 - November 16th, 2016; and
- Notice of Public Information Centre #3 - December 15th, 2016.

Copies of written correspondence (letters and emails) sent and received during the Class Environmental Assessment Addendum process are attached.

Table 1 outlines consultation completed in addition to the project notices in cases where no response was received to our notices and request for comments. The telephone calls were to discuss project details, confirm information was received, offer to meet to discuss and to provide additional information if requested.

Table 1: First Nations Consultation Log

CONTACT	CONSULTATION DATE	ACTION
<p style="text-align: center;">Chippewas of the Thames First Nation</p> <p><i>Contact(s): Rolanda Elijah Mr. Kelly Riley</i></p> <p style="text-align: center;"><i>Chief Joe Miskokomon</i></p>	March 2nd, 2017	Voicemail left r.e notice of filing addendum;
	March 3rd, 2017	Received email noting that Rolanda Elijah is no longer Lands Director. Voicemail left with Kelly Riley.
<p style="text-align: center;"><i>Chippewas of Kettle & Stoney Point First Nation</i></p> <p><i>Contact(s): Ms. Susan Bressette</i> <i>Ms. Valerie George, Communications & Relations Coordinator</i></p> <p style="text-align: center;"><i>Chief Liz Cloud</i></p>	March 2nd, 2017	Spoke with Valerie. Will inform Dillon before 03/03/2017 if any additional clarification is required.
<p style="text-align: center;"><i>Aamjiwnaang First Nation</i></p> <p><i>Contact(s): Sharilyn Johnston, Environmental Coordinator</i></p> <p style="text-align: center;"><i>Chief Joanne Rogers</i></p>	June 13, 2016	Letter received from Aamjiwnaang First Nation noting no engagement in a full consultation process for this project.
	June 22, 2016	Response letter issued by Dillon to confirm receipt of letter and statement of no engagement.

<p><i>Walpole Island First nation/Bkejwanong Territory</i></p> <p><i>Contact(s): Mr. Dean Jacobs, Heritage Centre Director Alicia Black Eagle, Assistant to the Chief</i></p> <p><i>Chief Burton Kewayosh Jr.</i></p>	<p>March 2nd, 2017</p>	<p>Was not aware of a Mr. Dean Jacobs in a Heritage Centre Directory capacity. Voicemail left for Alicia Black Eagle r.e notice of filing addendum.</p>
<p><i>Caldwell First Nation</i></p> <p><i>Contact(s): Melody Watson, Band Administrator Carrie Ann Peters, Office Administrator</i></p> <p><i>Chief Louise Hillier</i></p>	<p>March 2nd, 2017</p>	<p>Caldwell First Nation has not received any correspondence of the project and its developments. Sent copy of boards from PIC#3 and brief summary email requesting comments prior to 03/03/2017.</p>
<p><i>Delaware Nation/Moravian of the Thames</i></p> <p><i>Ms. Colleen Stonefish, Receptionist</i></p> <p><i>Chief Greg Peters</i></p>	<p>March 2nd, 2017</p>	<p>Left voicemail with Chief Greg Peters r.e notice of filing addendum.</p>
<p><i>Metis Nation of Ontario</i></p> <p><i>Dr. Mark Knell, Environmental Assessments & Regulatory Manager</i></p>	<p>March 2nd, 2017</p>	<p>Left voicemail Dr. Mark Knell r.e notice of filing addendum.</p>